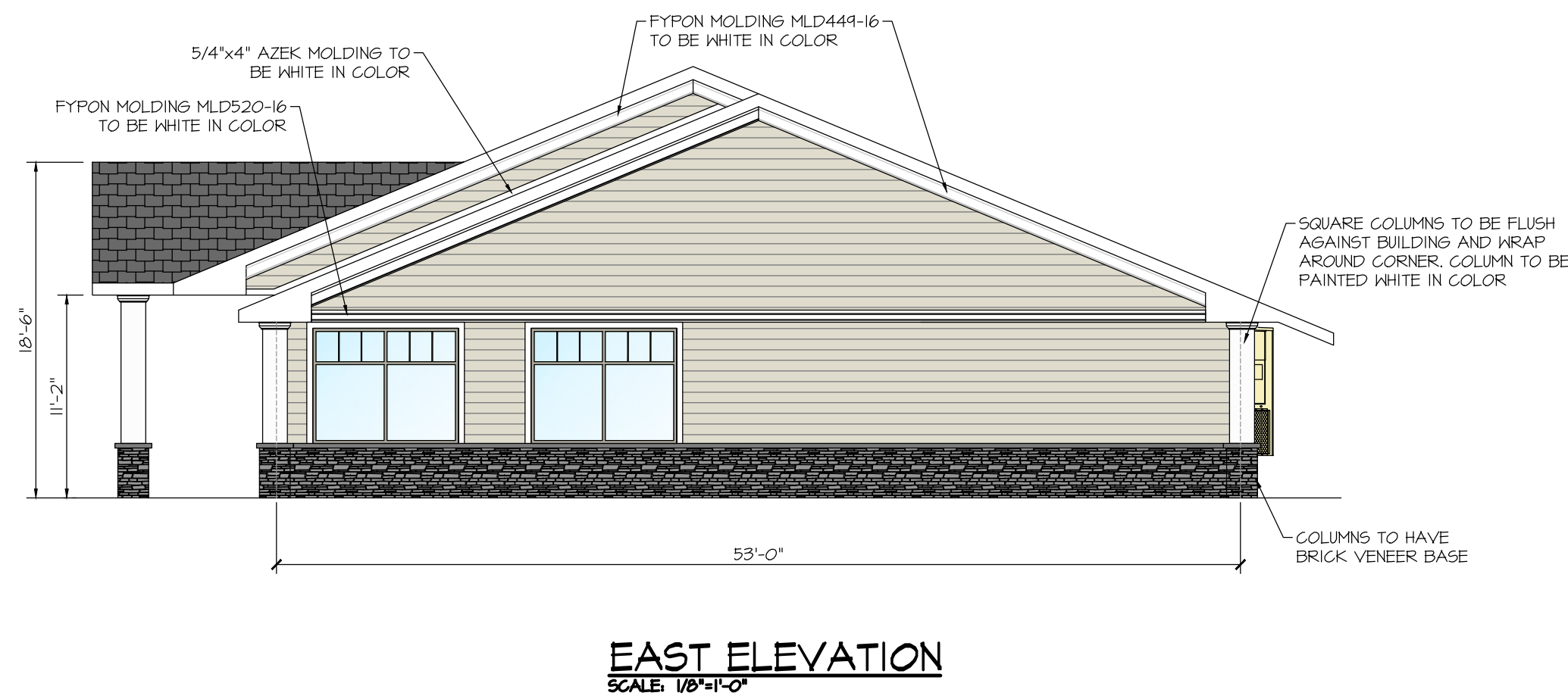
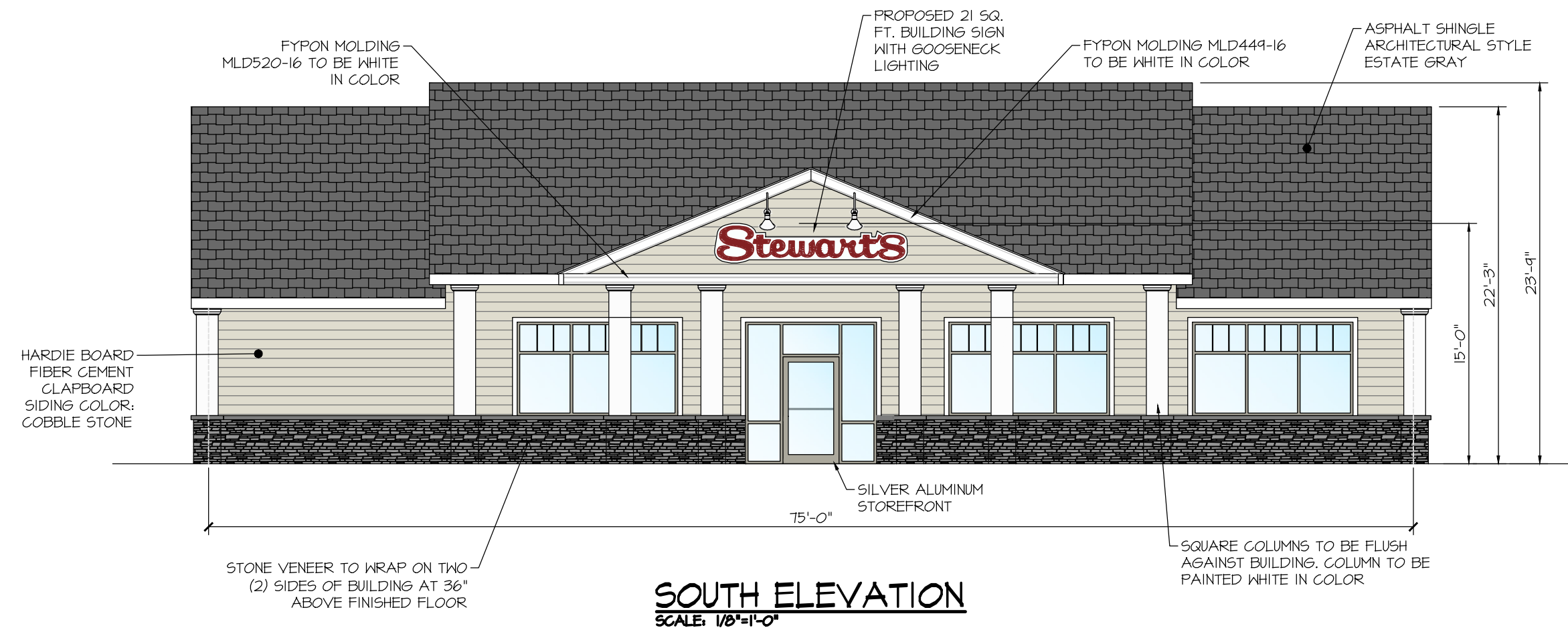
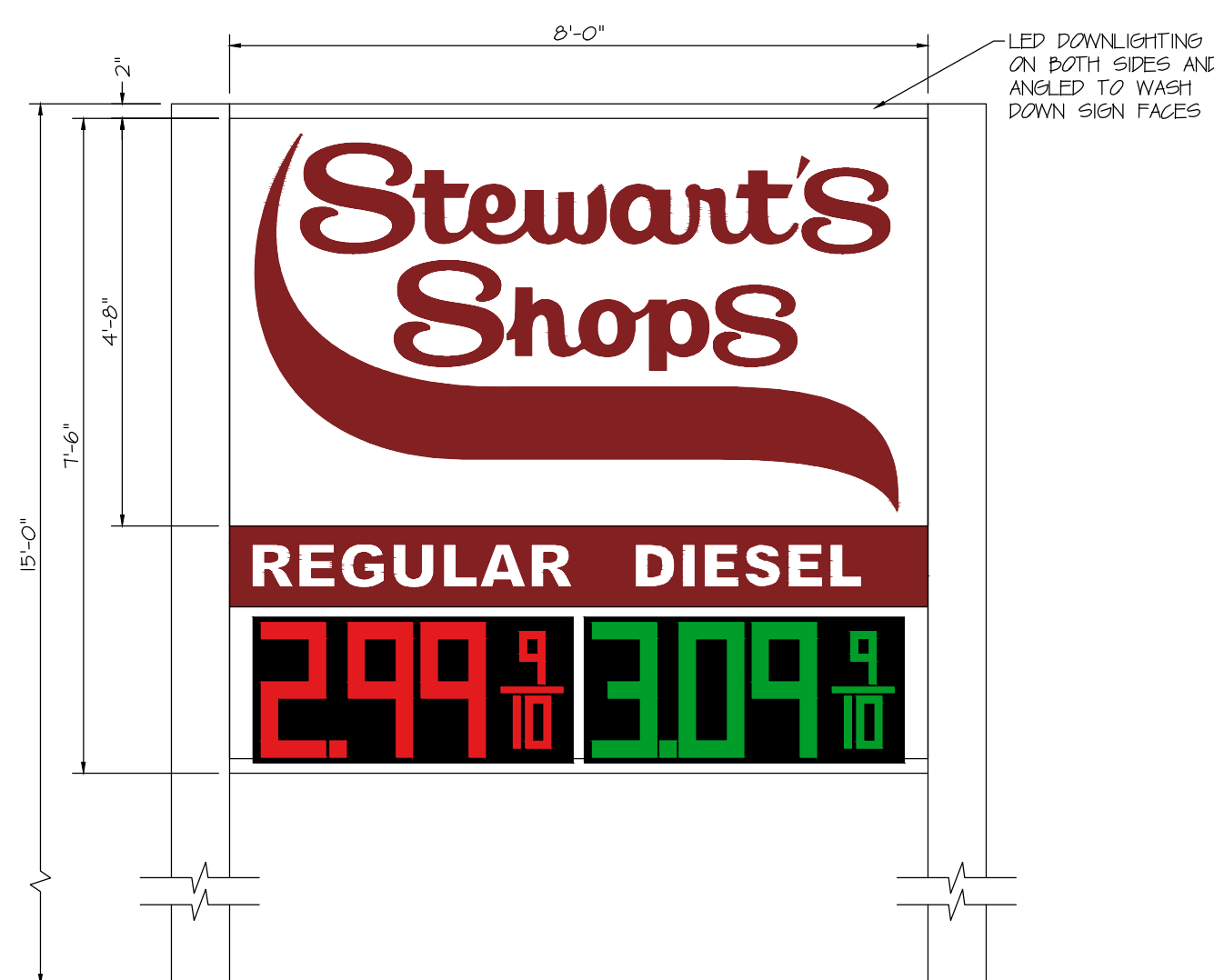
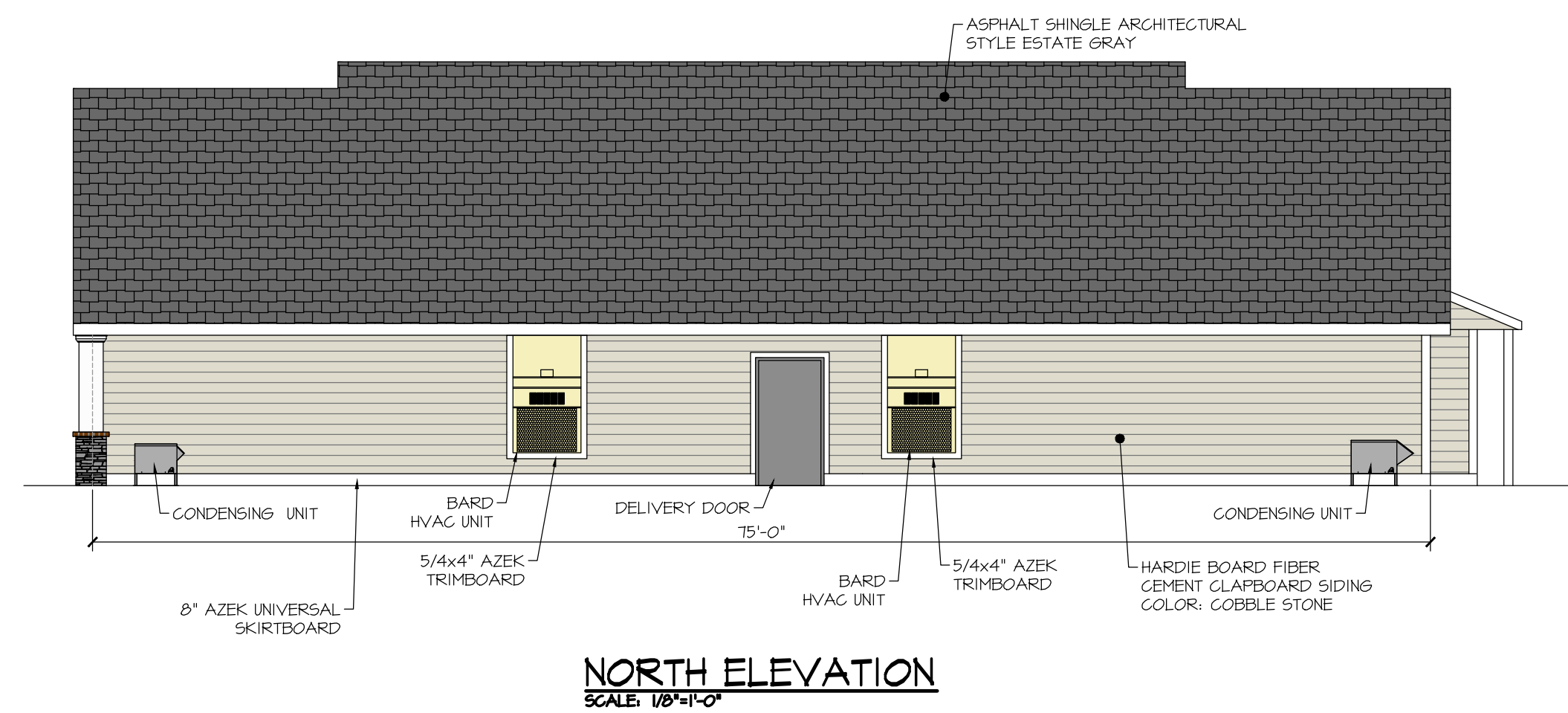
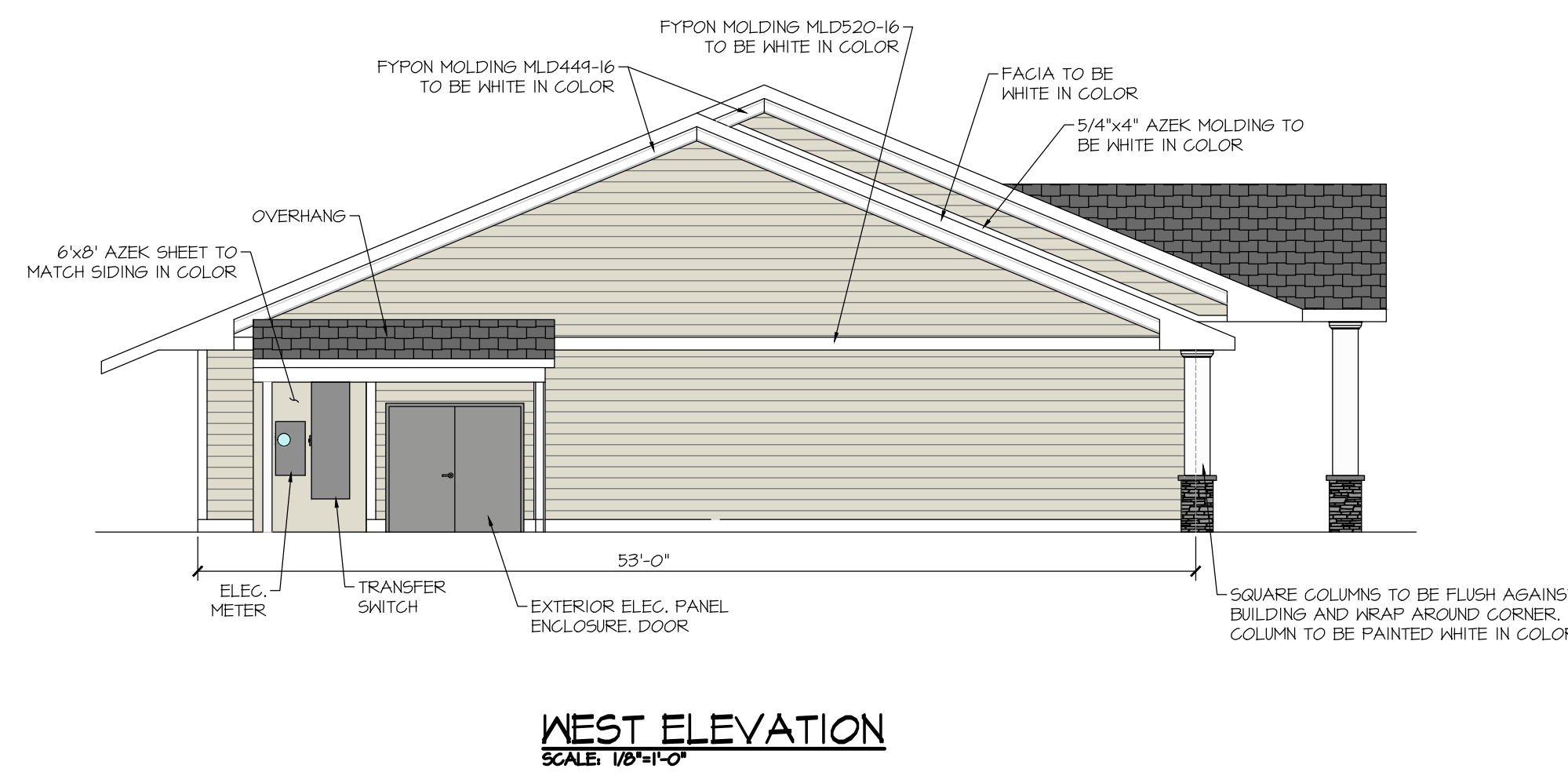


PROPOSED STEWART'S SHOP

2634 GENESEE STREET, UTICA, NY



SHEET NO.	DRAWING NAME	DESCRIPTION
1	T-1	TITLE SHEET
2	S-1	EXISTING SITE/DEMOLITION PLAN
3	S-2	PROPOSED SITE PLAN
4	S-3	UTILITY PLAN
5	S-4	GRADING AND DRAINAGE PLAN
6	S-5	EROSION CONTROL (SWPPP) PLAN
7	S-6	EROSION CONTROL (SWPPP) DETAILS
8	S-7	LANDSCAPING PLAN
9	S-8	PHOTOMETRIC PLAN
10	S-9	TRUCK CIRCULATION PLAN
11	S-10	MISCELLANEOUS DETAILS
12	S-11	MISCELLANEOUS DETAILS

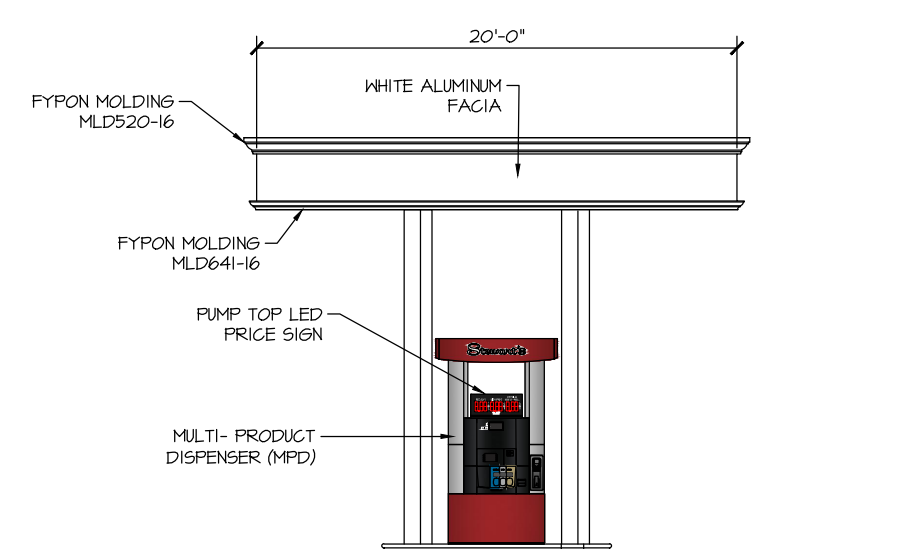
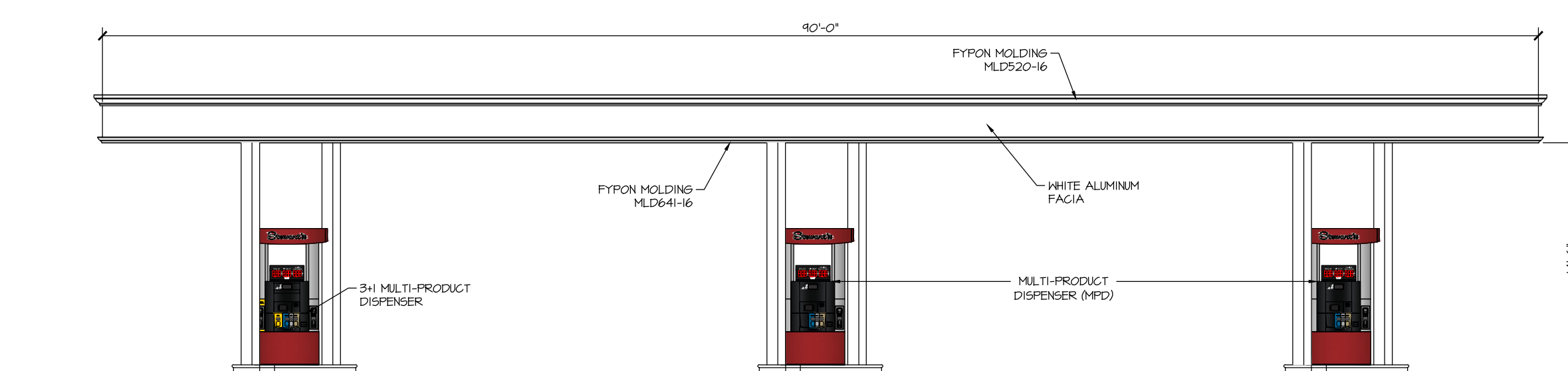


SIZE: - 7'-6"x8' = 60 SQ. FT.
LETTERS: - 1/8" PLEXIGLASS FACE ON 4-1/2" THICK CAN
ILLUMINATION: - EXTERNALLY ILLUMINATED WITH LED LIGHTING
- BURGUNDY LETTERS
- WHITE COLOR BACKGROUND
- 16" RED LED GAS PRICE NUMBER
- 16" GREEN LED DIESEL PRICE NUMBERS

Stewart's

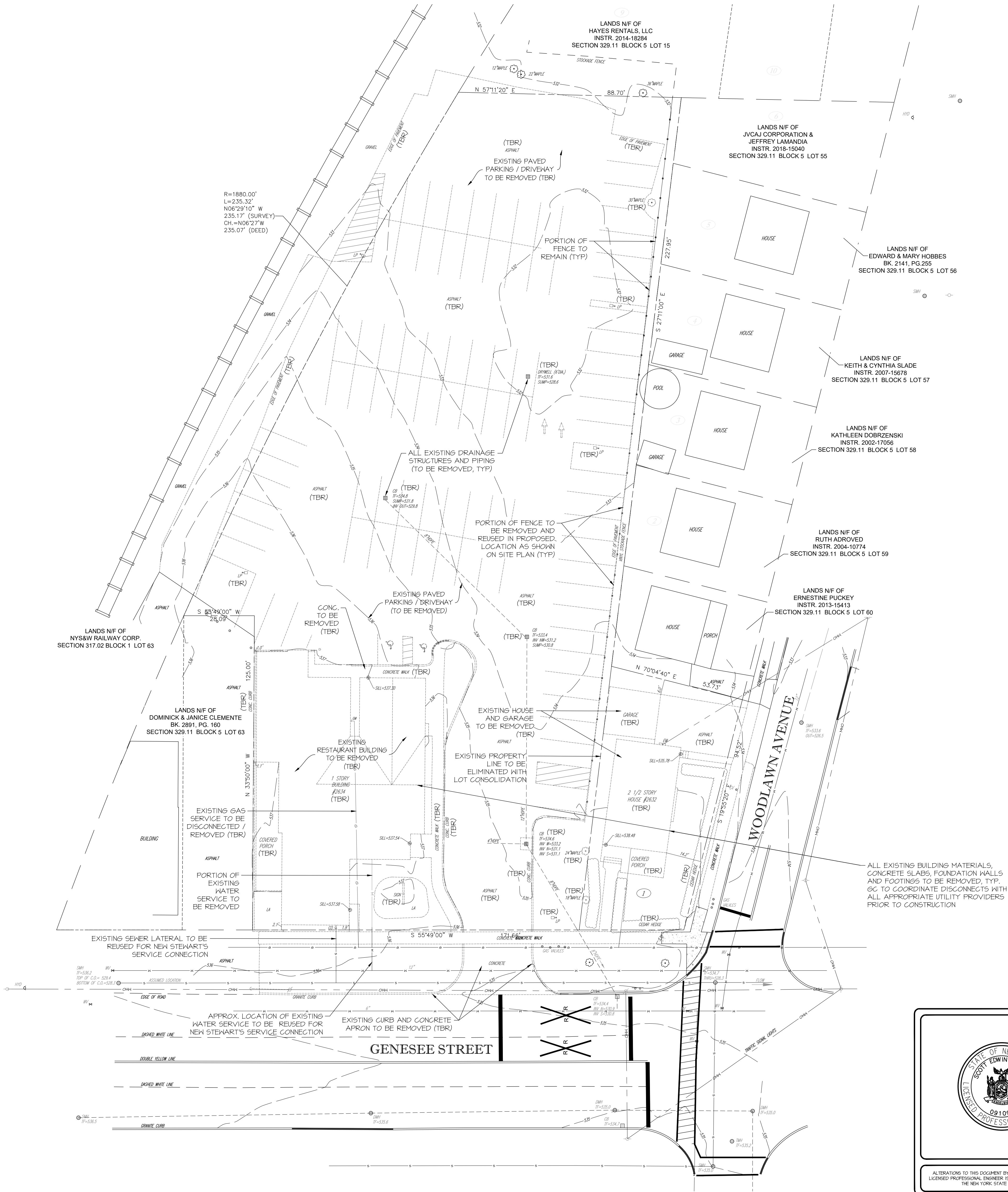
TYPICAL BUILDING SIGN

SIZE: - 21 SQ. FT.
LETTERS: - 1/8" PLEXIGLASS FACE ON 4-1/2" THICK CAN
ILLUMINATION: - EXTERNALLY ILLUMINATED WITH LED GOOSENECK LIGHTING
- BURGUNDY LETTERS
- WHITE COLOR BACKGROUND



STORE NAME, ABBREVIATION & NO.		SOUTH UTICA - 217	
SITE LOCATION		2632 & 2634 GENESEE STREET - CITY OF UTICA, NY 13502	
DATE	NO.	REVISIONS	
4/22/22	1	PER PLANNING BOARD COMMENTS	
10/12/22	2	FULL SITE DESIGN PLANS PREPARED	
DRAWN BY: JRG		SCALE: AS SHOWN	
DATE: 6/29/22		DRAWING NO. T-1	
SARATOGA SPRINGS, NY 12866		FAX (518)581-1209	
TEL (518)581-1200		TITLE: TITLE SHEET	
ALTERATIONS TO THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED PROFESSIONAL ENGINEER IS ILLEGAL AND A VIOLATION OF THE NEW YORK STATE EDUCATION LAW			

LEGEND	
PROPERTY LINE	_____
FIRE HYDRANT	
WATER VALVE	
GAS VALVE	
SEWER MANHOLE	
SEWER CLEANOUT	
CURB INLET	
CATCH BASIN	
GUY WIRE	
UTILITY POLE	
SIGNPOST	
TRAFFIC SIGNAL CONTROL BOX	
POLE LIGHT	
WELL	
BOLLARD	
IRRIGATION SLEEVE	____IR____
OVERHEAD UTILITIES	____OHM____
WATER SERVICE, 1" TYPE "K" COPPER	____WK____
SEWER SERVICE, 4" SDR 26	____SK____
STORM PIPE, PROPOSED, HDPE	=====
STORM PIPE, EXISTING	=====
STOCKADE FENCE	=====
CHAINLINK FENCE	=====
SPLITRAIL FENCE	=====
U/G ELECTRICAL/TELE SERVICE	____UE/UT____
U/G ELECTRICAL CONDUIT	____UE____
U/G GAS LINE	____G____
U/G CAMERAL CONDUIT	____CAM____
DIESEL PRODUCT LINE	____DSL____
SUPER PRODUCT LINE	____SUP____
UNLEADED PRODUCT LINE	____UNL____
EXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
PROPOSED MAJOR CONTOUR	
PROPOSED MINOR CONTOUR	
PROPOSED SPOT ELEVATION	
EXISTING UNCHANGED SPOT ELEVATION	
NOTES: 1. SOME FEATURES IN LEGEND MAY NOT HAVE BEEN USED. 2. DASHED LINES INDICATE NEW WORK. 3. DOTTED LINES INDICATE REMOVED ITEMS.	



ALL EXISTING BUILDING MATERIALS, CONCRETE SLABS, FOUNDATION WALLS AND FOOTINGS TO BE REMOVED, TYP. GC TO COORDINATE DISCONNECTS WITH ALL APPROPRIATE UTILITY PROVIDERS PRIOR TO CONSTRUCTION

ALTERATIONS TO THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED PROFESSIONAL ENGINEER IS ILLEGAL AND A VIOLATION OF THE NEW YORK STATE EDUCATION LAW

STORE NAME, ABBREVIATION & NO.	
SOUTH UTICA - 217	
SITE LOCATION	
2632 & 2634 GENESEE STREET - CITY OF UTICA, NY 13502	
DATE	NO.
4/22/22	1
10/22/22	2
REVISIONS	
PER PLANNING BOARD COMMENTS	
FULL SITE DESIGN PLANS PREPARED	

SARATOGA SPRINGS, NY 12866
TEL (518)581-1200 FAX (518)581-1209

DRAWN BY: JR6

SCALE: 1"=20'

DATE: 6/29/22

DRAWING NO.

S-1

TITLE:

EXISTING SITE / DEMOLITION PLAN



SIGN KEY:

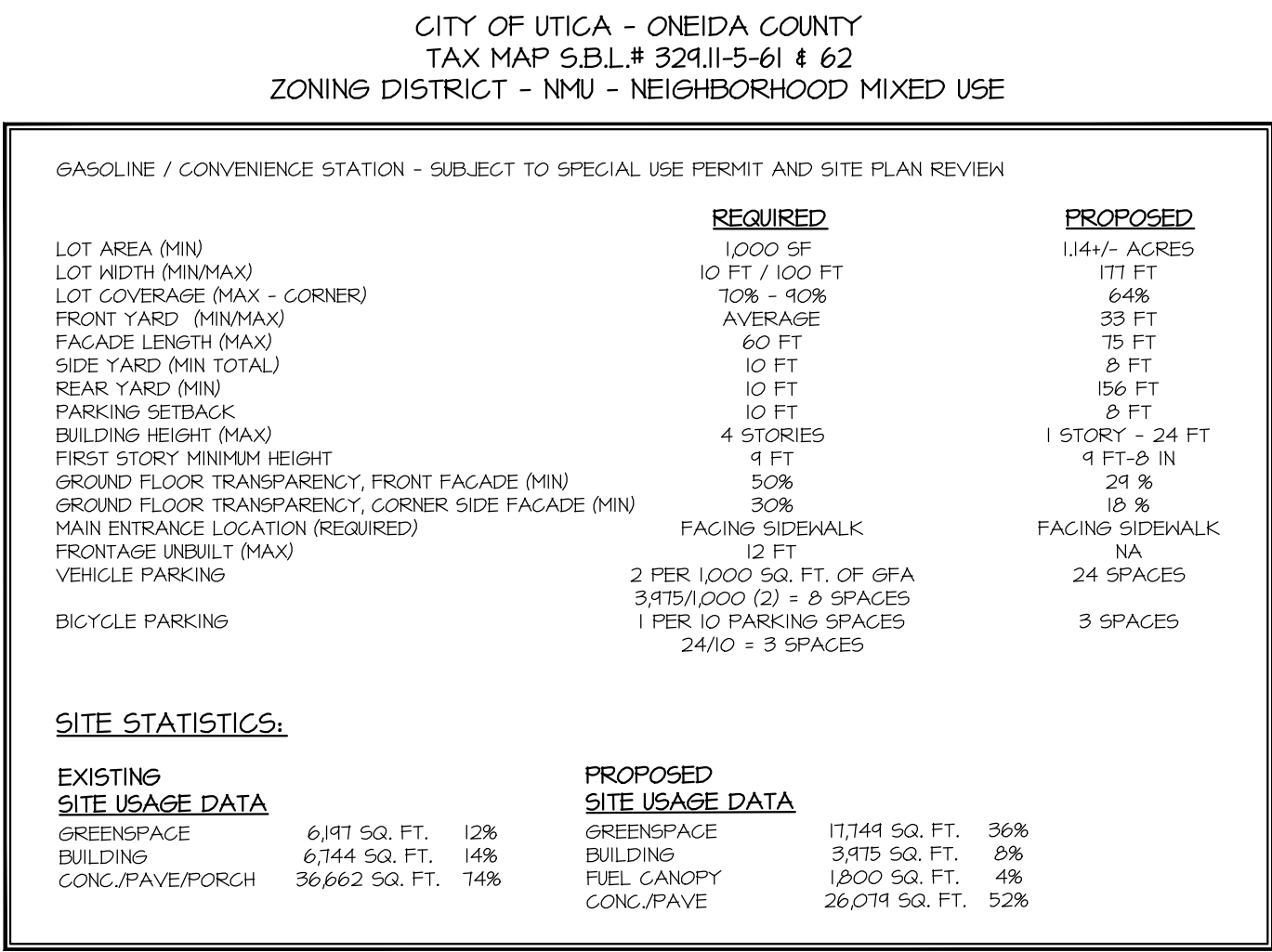
- 1 ALL SIGNS ARE TO CONFORM WITH N.Y.S.D.O.T. STANDARD SPECIFICATION 645.
- 2 SIGN POST TO BE SECURED IN BOLLARD WITH SAND
- 3 SIGNS SHALL BE MOUNTED TO GALVANIZED U CHANNEL POSTS IN THE LOCATIONS INDICATED ON THE PLAN.

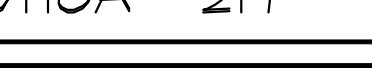
1

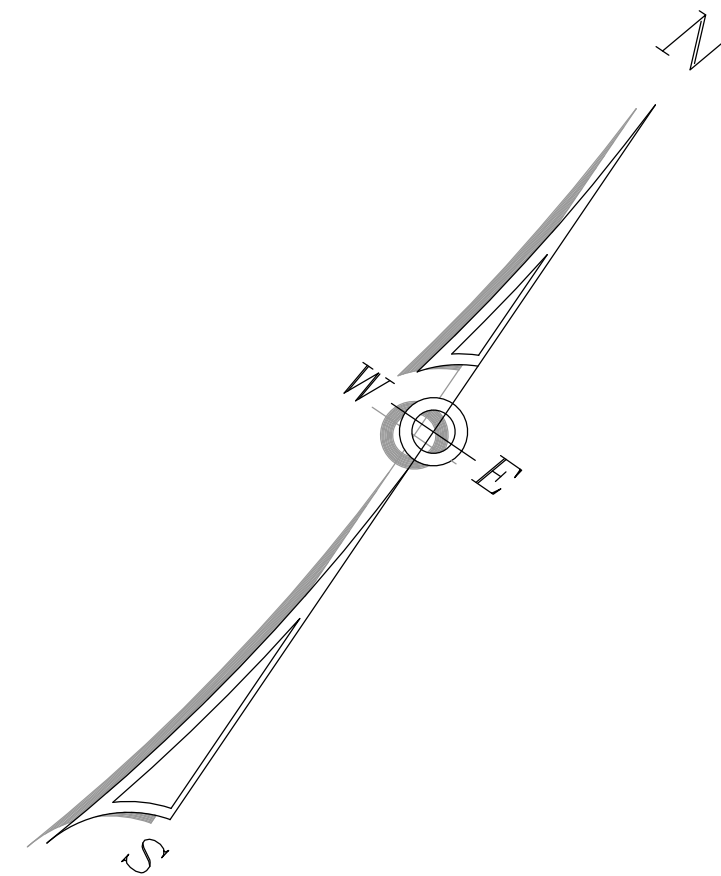
HANDICAP SIGN
RT-2 12"x16"
RT-2-A 12"x16"
6" O" MOUNTING
HEIGHT MIN. SEE
PLAN FOR LOCATION

2

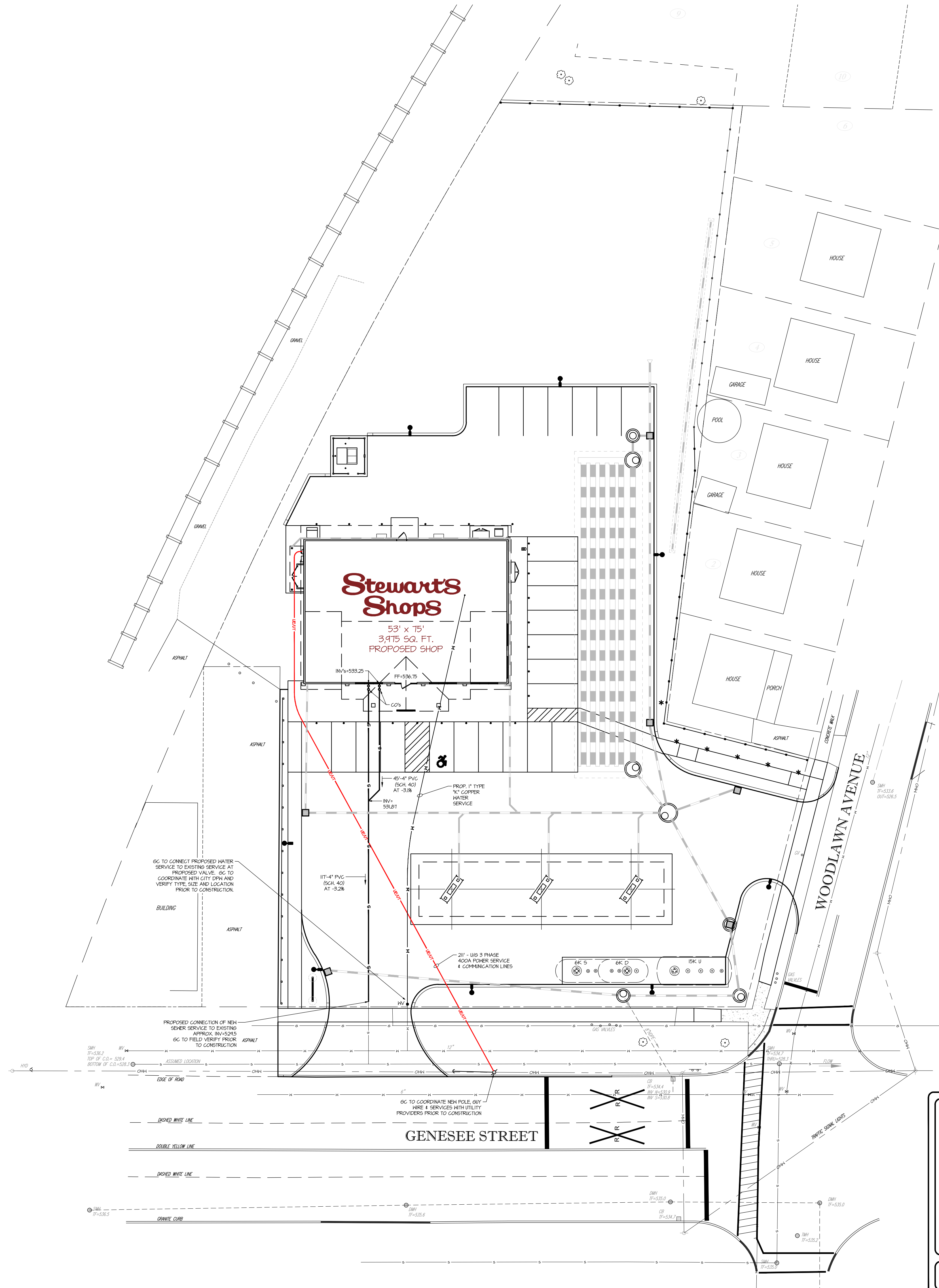
NO PARKING SIGN
RT-1 12"x16"
6" O" MOUNTING
HEIGHT MIN. SEE
PLAN FOR LOCATION



	STORE NAME: ABBREVIATION & NO. SOUTH UTICA - 217										
	SITE LOCATION 2632 & 2634 GENESEE STREET - CITY OF UTICA, NY 13502										
	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">DATE</th> <th style="width: 5%;">NO.</th> <th style="width: 85%;">REVISIONS</th> </tr> </thead> <tbody> <tr> <td>4/22/22</td> <td>1</td> <td>PER PLANNING BOARD COMMENTS</td> </tr> <tr> <td>10/1/22</td> <td>2</td> <td>FULL SITE DESIGN PLANS PREPARED</td> </tr> </tbody> </table>	DATE	NO.	REVISIONS	4/22/22	1	PER PLANNING BOARD COMMENTS	10/1/22	2	FULL SITE DESIGN PLANS PREPARED	 SARATOGA SPRINGS, NY 12866 TEL. (518)581-1200 FAX (518)581-1209
DATE	NO.	REVISIONS									
4/22/22	1	PER PLANNING BOARD COMMENTS									
10/1/22	2	FULL SITE DESIGN PLANS PREPARED									
ALTERATIONS TO THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED PROFESSIONAL ENGINEER IS ILLEGAL AND A VIOLATION OF THE NEW YORK STATE EDUCATION LAW											
DRAWN BY: JRG SCALE: 1"=20' DATE: 6/24/22 DRAWING NO. S-2											
TITLE: PROPOSED SITE PLAN											



LEGEND	
PROPERTY LINE	
FIRE HYDRANT	
WATER VALVE	
GAS VALVE	
SEWER MANHOLE	
SEWER CLEANOUT	
CURB INLET	
CATCH BASIN	
GUY WIRE	
UTILITY POLE	
SIGNPOST	
TRAFFIC SIGNAL CONTROL BOX	
POLE LIGHT	
WELL	
BOLLARD	
IRRIGATION SLEEVE	
OVERHEAD UTILITIES	
WATER SERVICE, 1" TYPE "K" COPPER	
SEWER SERVICE, 4" SDR 26	
STORM PIPE, PROPOSED, HDPE	
STORM PIPE, EXISTING	
STOCKADE FENCE	
CHAINLINK FENCE	
SPLITRAIL FENCE	
U/G ELECTRICAL/TELE SERVICE	
U/G ELECTRICAL CONDUIT	
U/G GAS LINE	
U/G CAMERAL CONDUIT	
DIESEL PRODUCT LINE	
SUPER PRODUCT LINE	
UNLEADED PRODUCT LINE	
EXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
PROPOSED MAJOR CONTOUR	
PROPOSED MINOR CONTOUR	
PROPOSED SPOT ELEVATION	
EXISTING UNCHANGED SPOT ELEVATION	
NOTES: 1. SOME FEATURES IN LEGEND MAY NOT HAVE BEEN USED. 2. DASHED LINES INDICATE NEW WORK. 3. DOTTED LINES INDICATE REMOVED ITEMS.	



ALTERATIONS TO THIS DOCUMENT BY OTHER THAN AN AUTHORIZED
LICENSED PROFESSIONAL ENGINEER IS ILLEGAL AND A VIOLATION OF
THE NEW YORK STATE EDUCATION LAW

[illegible]

SOUTH UTICA - 217

SITE LOCATION

2632 & 2634 GENESEE STREET - CITY OF UTICA, NY 13502

DATE _____

NG

REVISIONS

9/22/22

	1

	PER PLANNING BOARD COMMENTS
--	-----------------------------

FULL SITE DESIGN PLANS PREPARED



**Stewart's
Shops**

SARATOGA SPRINGS, NY 12866
TEL. (518)581-1200 FAX (518)581-1209

DRAINERY IDC

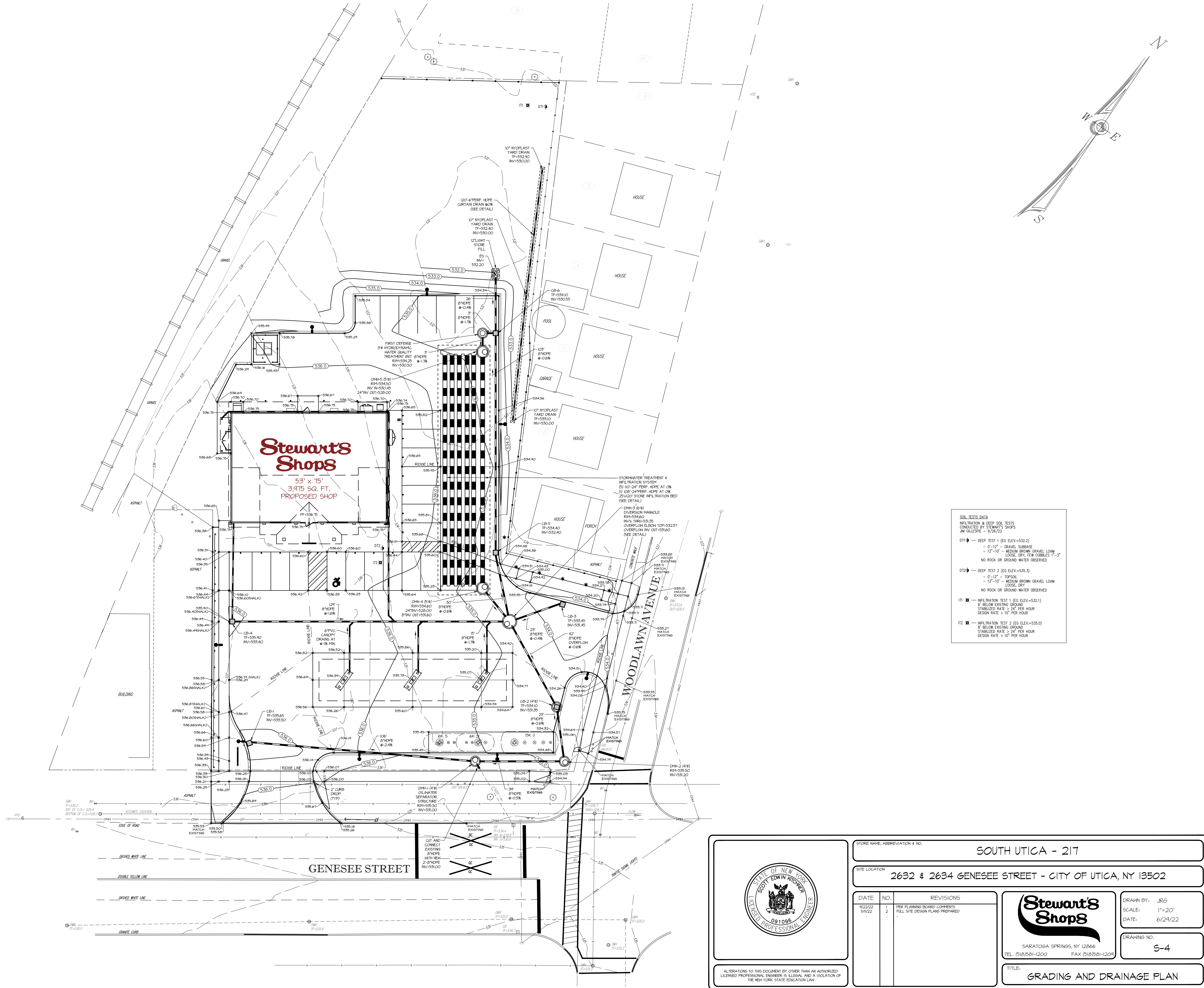
DRAWN BY: JRG
SCALE: 1/8" = 1'-0"

SCALE: 1" = 20'

DRAWING NO

5-3

LEGEND	
PROPERTY LINE	---
FIRE HYDRANT	
WATER VALVE	
GAS VALVE	
SEWER MANHOLE	
SEWER CLEANOUT	
CURB INLET	
CATCH BASIN	
GUY WIRE	
UTILITY POLE	
SIGNPOST	
TRAFFIC SIGNAL CONTROL BOX	
POLE LIGHT	
WELL	
BOLLARD	
IRRIGATION SLEEVE	---IR---
OVERHEAD UTILITIES	---OHW---
WATER SERVICE, 1" TYPE "K" COPPER	---W---
SEWER SERVICE, 4" SDR 26	---S---
STORM PIPE, PROPOSED, HDPE	---STP---
STORM PIPE, EXISTING	---STP---
STOCKADE FENCE	---
CHAINLINK FENCE	---
SPLITRAIL FENCE	---
U/G ELECTRICAL/TELE SERVICE	---UE/UT---
U/G ELECTRICAL CONDUIT	---UE---
U/G GAS LINE	---G---
U/G CAMERAL CONDUIT	---CAM---
DIESEL PRODUCT LINE	---DSL---
SUPER PRODUCT LINE	---SUP---
UNLEADED PRODUCT LINE	---UNL---
EXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
PROPOSED MAJOR CONTOUR	
PROPOSED MINOR CONTOUR	
PROPOSED SPOT ELEVATION	
EXISTING UNCHANGED SPOT ELEVATION	
NOTES: 1. SOME FEATURES IN LEGEND MAY NOT HAVE BEEN USED. 2. DASHED LINES INDICATE NEW WORK. 3. DOTTED LINES INDICATE REMOVED ITEMS.	



ALTERATIONS TO THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED PROFESSIONAL ENGINEER IS ILLEGAL AND A VIOLATION OF THE NEW YORK STATE EDUCATION LAW

STORE NAME, ABBREVIATION & NO.	
SOUTH UTICA - 217	
SITE LOCATION	
2632 & 2634 GENESEE STREET - CITY OF UTICA, NY 13502	
DATE	NO.
4/22/22	1
10/02/22	2
REVISIONS	
PER PLANNING BOARD COMMENTS	
FULL SITE DESIGN PLANS PREPARED	

SARATOGA SPRINGS, NY 12866
TEL (518)581-1200 FAX (518)581-1209

DRAWN BY:	JRG
SCALE:	1"=20'
DATE:	6/29/22
DRAWING NO.	5-4

TITLE:	Grading and Drainage Plan
--------	---------------------------

GENERAL REQUIREMENTS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION AND SEDIMENT CONTROL TO PROTECT SURROUNDING WATER BODIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION CONTROL AND MAINTENANCE OF SOIL EROSION AND SEDIMENT CONTROL FACILITIES TO ENSURE PROPER FUNCTIONING OF SAID FACILITIES DURING CONSTRUCTION.

AFTER THE PROJECT HAS BEEN COMPLETED, THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY FOR ENSURING THAT ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR REPLACED BY PERMANENT CONTROLS.

ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FOURTEEN (14) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDINGS. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.

PERMANENT VEGETATION TO BE SEEDDED OR SODDED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCH AS NECESSARY FOR SEED PROTECTION AND ESTABLISHMENT. LIME AND FERTILIZE SEED BED PRIOR TO PERMANENT SEEDINGS. SEE SECTION D.

EROSION & SEDIMENT POLLUTION CONTROL GUIDELINES

EROSION AND SEDIMENT POLLUTION CONTROL FACILITIES AND PRACTICES, UTILIZED IN THE CONSTRUCTION OF THE PROJECT, SHALL BE CONSISTENT WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, MARCH 1988.

NATURAL VEGETATION SHALL BE RETAINED, PROTECTED, AND SUPPLEMENTED, AS FEASIBLE PRIOR TO AND DURING CONSTRUCTION.

CUT AND FILL SLOPES SHALL BE BROUGHT TO FINAL PROPOSED GRADES AS SOON AS POSSIBLE IN THE CONSTRUCTION SEQUENCES, AND SEEDDED AND MULCHED IMMEDIATELY.

EROSION AND SEDIMENT POLLUTION CONTROL FACILITIES (STRAH BALES, FILTER FABRIC FENCING, STABILIZED CONSTRUCTION ENTRANCES, SILTATION BASINS, AND OTHER ACCEPTABLE FACILITIES) SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL COMPLETE SITE STABILIZATION.

HEAVY CONSTRUCTION EQUIPMENT SHALL BE KEPT AS CLOSE TO THE AREA AS PRACTICAL TO MINIMIZE DISTURBANCE OF SOIL ALREADY STABILIZED OR UNDISTURBED

TOPSOIL AND OTHER SOIL REMOVED DURING CONSTRUCTION SHALL BE STOCKPILED IN A SUITABLE LOCATION CLEAR FROM ANY STORMWATER DRAINAGE COURSES. STOCKPILES WHICH ARE INACTIVE FOR MORE THAN FOURTEEN (14) DAYS SHALL BE SEEDDED.

VEGETATIVE STABILIZATION SHALL BE PERIODICALLY INSPECTED FOR SUFFICIENT GROWTH AND PROGRESS. AREAS NOT RESPONDING SHALL BE PROMPTLY RESEEDDED AND REMULCHED AS SOON AS POSSIBLE. AREAS SHOWING SIGNS OF EROSION PRIOR TO STABILIZATION SHALL BE GRADED, RESEDED, AND REMULCHED AS SOON AS POSSIBLE. SOIL OR EROSION CONTROL FABRIC SHALL BE UTILIZED WHERE ADEQUATE STABILIZATION IS NOT OCCURRING.

ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BEFORE BEGINNING EARTH MOVING ACTIVITIES, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

A STABILIZED CONSTRUCTION ENTRANCE PAD OF 1-1/2" TO 2" CLEAN STONE WILL BE PLACED AT ALL CONSTRUCTION DRIVEWAYS IMMEDIATELY AFTER SITE DISTURBANCE. DIMENSIONS: LENGTH NOT LESS THAN 50 FT, EXCEPT ON SINGLE RESIDENCE LOT WHERE 30 FT. MINIMUM WOULD APPLY. WIDTH 24 FT. MIN, BUT NOT LESS THAN FULL WIDTH OF ENTRANCE OR EXIT DRIVES. DEPTH NOT LESS THAN 8 IN. FILTER CLOTH IS REQUIRED PRIOR TO STONE PLACEMENT.

ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED FOR MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL, AT A RATE OF 2.5-3.0 TONS PER ACRE, ACCORDING TO STATE STANDARDS.

PERMANENT VEGETATION TO BE SEEDDED ON ALL EXPOSED AREAS WITHIN FOURTEEN (14) DAYS AFTER FINAL GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.

THE APPLICATION OF TOPSOIL, LIMING, FERTILIZING, SEEDING, AND MULCHING FOR DISTURBED AREAS SHALL BE CONSISTENT WITH THE STANDARD GENERAL PRACTICES FOR CONSTRUCTION.

IMMEDIATELY FOLLOWING INITIAL DISTURBANCES OF ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E., STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2.5 - 3.0 TONS PER ACRE

ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E., SLOPES GREATER THAN 3:1).

AT THE TIME WHEN SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS TO BE ESTABLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER.

IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES UNTIL ALL AREAS HAVE BEEN PERMANENTLY STABILIZED.

MAINTENANCE AND REPAIR OF EROSION AND SEDIMENT POLLUTION CONTROL FACILITIES

PROPER MAINTENANCE AND REPAIR OF EROSION AND SEDIMENT CONTROL FACILITIES ARE NECESSARY TO THE EFFECTIVENESS OF THE EROSION AND SEDIMENT POLLUTION CONTROL FACILITIES.

A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE ENTRANCE OF EACH CONSTRUCTION INGRESS ONTO PUBLIC THOROUGHFARES AND STABILIZED ROADWAYS.

DISTURBED GROUND SURFACES SHALL BE SPRINKLED WITH WATER, AS NEEDED, TO LIMIT THE FORMATION AND MIGRATION OF AIRBORNE DUST.

OPERATIONAL MEASURES SHALL BE EMPLOYED DURING CONSTRUCTION TO PREVENT THE SPILLS OF FUELS AND LUBRICANTS; IF A SPILL OCCURS, IT SHALL BE CONTROLLED IMMEDIATELY TO PREVENT ITS ENTRY INTO OFF-SITE AREAS INCLUDING ADJACENT STORM SEWER.

ANY TEMPORARY EROSION CONTROL FACILITY SHALL REMAIN FUNCTIONAL UNTIL VEGETATIVE COVER IS SUFFICIENTLY ESTABLISHED WITHIN THE RESPECTIVE TRIBUTARY DRAINAGE AREA.

ANY DEBRIS ACCUMULATED IN EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE REMOVED AND PROPERLY DISPOSED. THESE FACILITIES SHALL BE CHECKED DAILY AND AFTER RAINFALL EVENTS, AND REBALISHED AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN IT REACHES THE FOLLOWING DEPTHS:

- STRAH BALE BARRIERS - 6 INCHES
- SILT FENCING - 6 INCHES
- SILTATION BASIN - 4 INCHES

NOTE: DISTURBED AREAS SHALL BE CONSIDERED AS PERMANENTLY STABILIZED WHEN A MINIMUM COVER OF 80% HAS BEEN ESTABLISHED.

SOIL RESTORATION

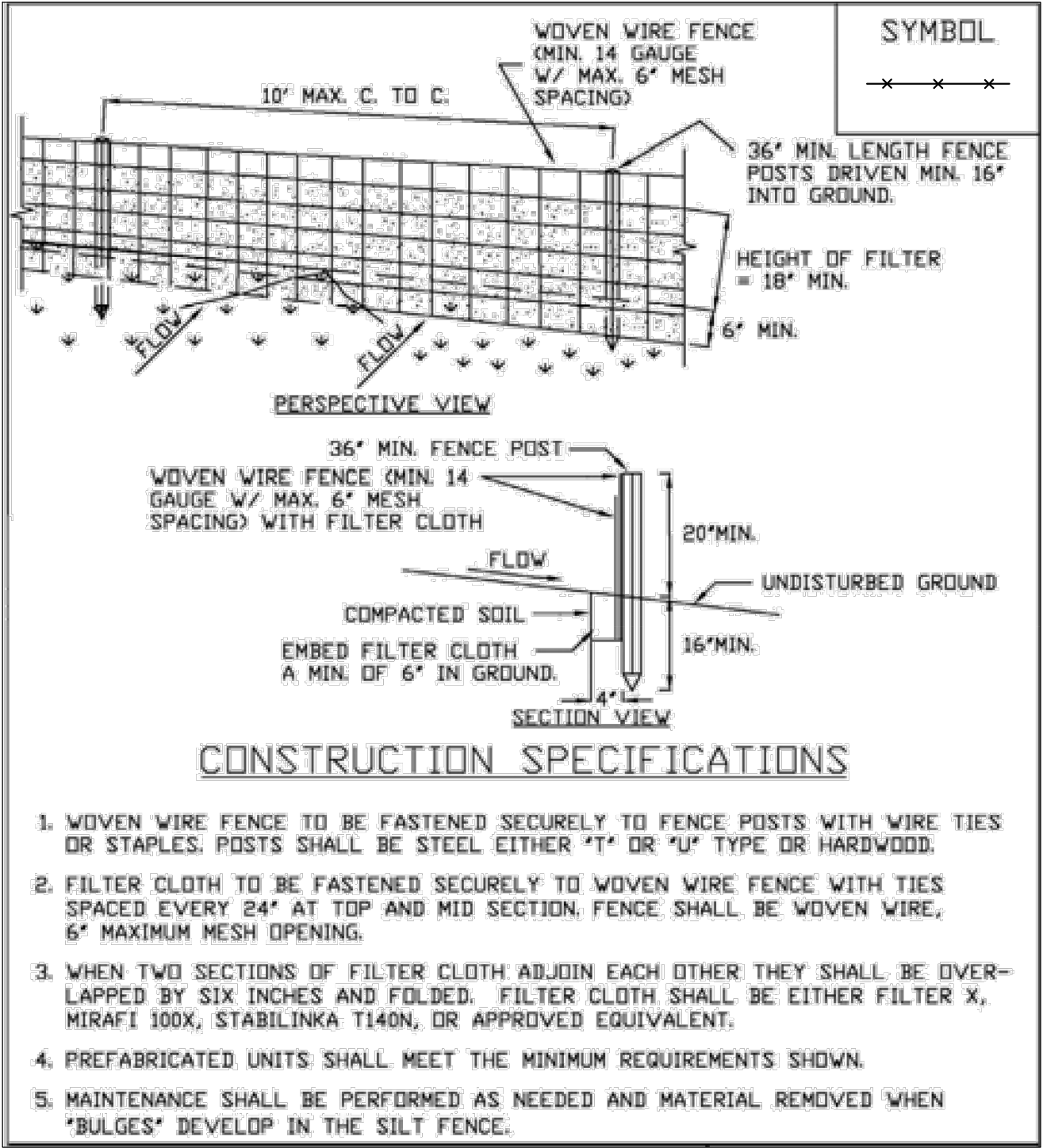
1. APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
2. TILL COMPOST INTO SUBSOIL TO DEPTH OF AT LEAST 12 INCHES USING XCAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER. MIXING AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
3. ROCK-PICK UNTIL UPLIFT STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE.
4. APPLY TOPSOIL TO DEPTH OF 6 INCHES
5. VEGETATE AS REQUIRED BY APPROVED PLAN.

AT THE END OF PROJECT AN INSPECTOR SHOULD BE ABLE TO TO PUSH A 3/8" METAL BAR 12" INCHES INTO SOIL JUST WITH BODY HEIGHT. TILLING (STEP 2 ABOVE) SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES OR OVER UTILITY INSTALLATIONS THAT ARE WITHIN 24 INCHES OF THE SURFACE.

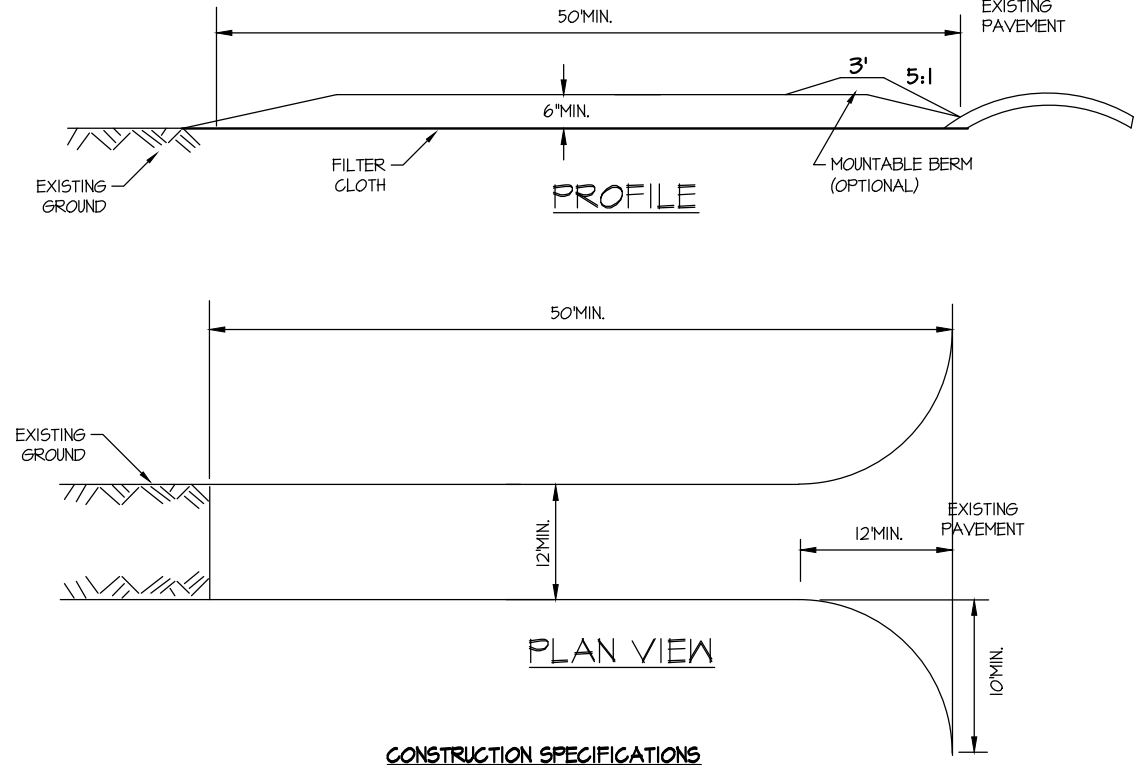
COMPOST SHALL BE AGED, FROM PLANT DERIVED MATERIALS, FREE OF VIABLE WEEDS SEEDS, MOVE. NO VISIBLE FREE WATER OR DUST PRODUCED WHEN HANDLING, PASS THROUGH A HALF INCH SCREEN AND HAVE A PH SUITABLE TO GROW DESIRED PLANTS.

TOPSOIL SHALL MEETING THE SPECIFICATIONS OF NYSDOT TYPE "A" TOPSOIL.

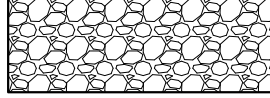
THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION AND SEDIMENT CONTROL TO PROTECT SURROUNDING WATER BODIES.



REINFORCED SILT FENCE DETAIL



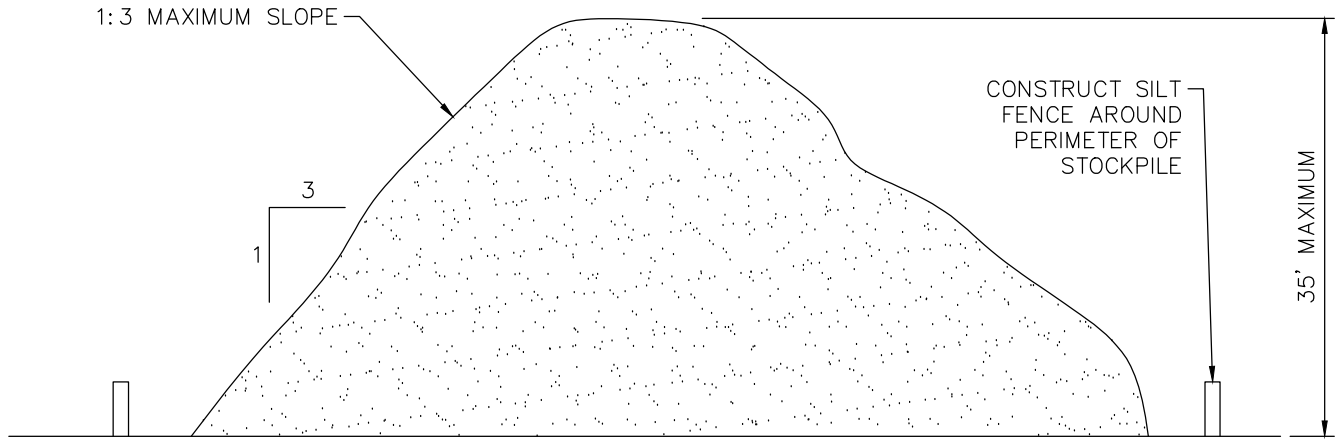
STANDARD SYMBOL



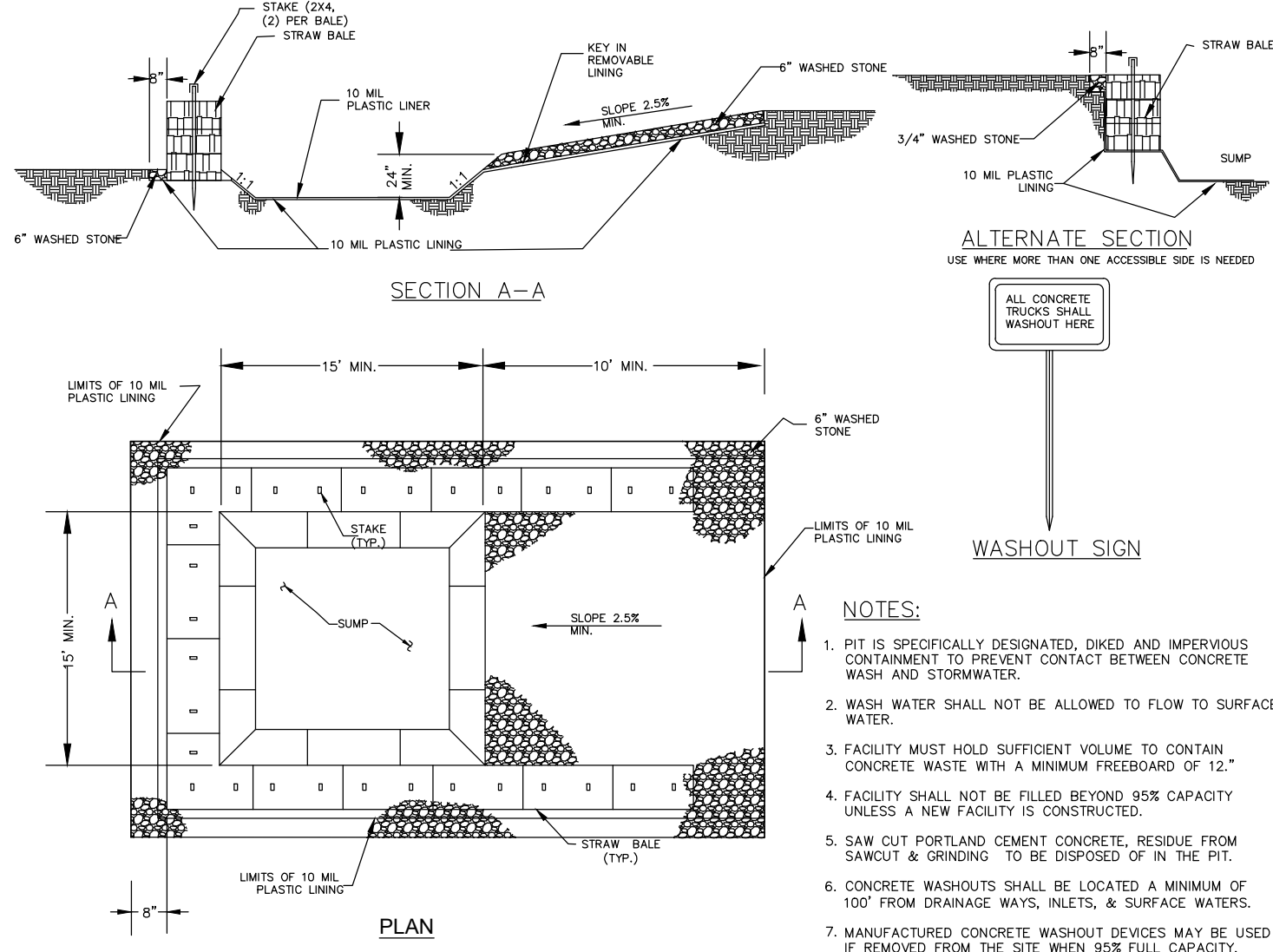
TEMPORARY CONSTRUCTION ENTRANCE

CONSTRUCTION SEQUENCE:

- INSTALL CONSTRUCTION ENTRANCE.
- CLEAR REQUIRED AREA.
- INSTALL SILT FENCE AND GRUB AREA.
- INSTALL EXISTING STRUCTURES AND UTILITIES.
- ROUGH GRADE NEW BUILDING SITE AREA.
- INSTALL BUILDING UTILITIES, FOUNDATION, CONSTRUCT BUILDING.
- INSTALL SUBBASE FOR PARKING LOT.
- FINISH GRADE AROUND BUILDING.
- ROUGH GRADE PROPOSED GAS ISLAND AREA.
- INSTALL UTILITIES, U.S. TANKS, PIPING, ETC.
- INSTALL REMAINING SUBBASE AND PAVEMENT.
- COMPLETE SOIL RESTORATION AS SPECIFIED ON THIS SHEET.
- FINISH GRADE AND SEED GREENSPACE AREAS.
- INSTALL LANDSCAPING, MULCH, ETC.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AS ORDERED BY QUALIFIED INSPECTOR.

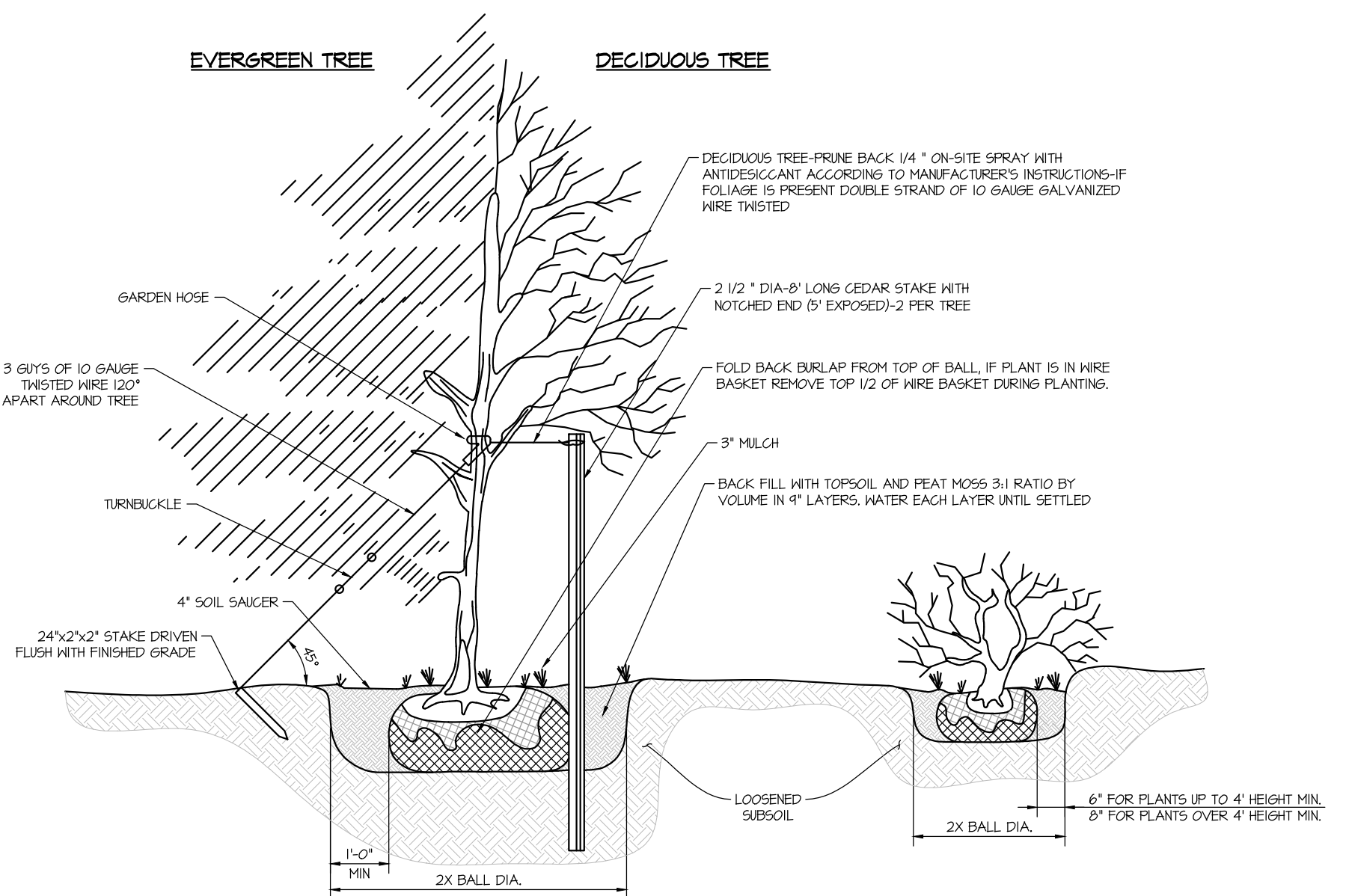


TEMPORARY STOCKPILE DETAIL



CONCRETE WASHOUT DETAIL

		STORE NAME, ABBREVIATION & NO. SOUTH UTICA - 217	
SITE LOCATION 2632 & 2634 GENESEE STREET - CITY OF UTICA, NY 13502			
DATE 4/22/22 10/2/22	NO. 1 2	REVISIONS PER PLANNING BOARD COMMENTS FULL SITE DESIGN PLANS PREPARED	
TITL EROSION CONTROL (SWPPP) DETAILS		DRAWN BY: JRG SCALE: AS SHOWN DATE: 6/29/22 DRAWING NO. 5-6	
ALTERATIONS TO THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED PROFESSIONAL ENGINEER IS ILLEGAL AND A VIOLATION OF THE NEW YORK STATE EDUCATION LAW		SARATOGA SPRINGS, NY 12866 TEL (518)581-1200 FAX (518)581-1209	



- PLANTING NOTES:**
1. DECIDUOUS PLANTING SEASONS
SPRING: APRIL 1 - MAY 20
FALL: OCTOBER 1 - NOVEMBER 15
 2. ALL PLANTS SHALL BE GUARANTEED AND MAINTAINED FOR A PERIOD OF 1 YEAR AFTER BEING PROPERLY PLANTED.
 3. REPLACEMENT PLANTS SHALL BE PLANTED IN CONFORMANCE WITH THE SAME SPECIFICATIONS AS THE ORIGINAL PLANTS.
 4. WRAP DECIDUOUS TREES OVER 1" CAL. WITH PLASTIC TREE GUARDS
- REMOVE TREE GUARDS AFTER A MIN. OF 2 WINTERS AND BEFORE A MAX. OF 5 WINTERS
 5. EVERGREEN TREE-GROUND LINE TO BE THE SAME AS EXISTED AT THE NURSERY
 6. TREE CALIPER IS TO BE MEASURED AT A HEIGHT OF 4'
 7. ALL STAKES AND GUY WIRES TO BE REMOVED 2 YEARS AFTER INITIAL PLANTING.

PLANTING DETAIL
SCALE: N.T.S.

PLANT LIST

	ABRV	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING
PERENNIALS	HS	HEMEROCALLIS 'STELLA DE ORO'	DAYLILY - STELLA DE ORO	14	2 GAL.	AS SHOWN
	RF	RUDBECKIA FILIFIDA	BLACK-EYED SUSAN	19	2 GAL.	AS SHOWN
	EP	ECHINACEA PURPUREA 'RUBY STAR'	CONEFLOWER - PURPLE	7	2 GAL.	AS SHOWN
	PF	PENINSETUM FUSLET	GRASS - FUSLET FOUNTAIN	7	2 GAL.	AS SHOWN
	AG	ASTILBE X ARENDSEII 'GRANAT'	GRANAT ASTILBE	13	2 GAL.	AS SHOWN
	RPJ	RHODODENDRON 'P.M'	P.M RHODODENDRON	6	14"-18"	AS SHOWN
SHRUBS	SJ	SPIRAEA JAPONICA	LITTLE PRINCESS SPIREA	16	14"-18"	AS SHOWN
	PC	PRUNUS X CISTENA	PURPLE LEAF SANDCHERRY	14	18"-24"	AS SHOWN
	SG	SPIRAEA GOLDMOUND	GOLDMOUND SPIREA	15	14"-18"	AS SHOWN
	ARR5	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2	3" - 3-1/2" CAL.	AS SHOWN
TREES	BN	BETULA NIGRA	MULTI STEM RIVER BIRCH	2	10"-12" MIN.	AS SHOWN
	CF	CORNUS FLORIDA 'CHEROKEE CHIEF'	RED FLOWERING DOGWOOD	3	3" - 3-1/2" CAL.	AS SHOWN
	PS	PINUS STROBUS	EASTERN WHITE PINE	5	6' MIN.	AS SHOWN
	PIAB	PICEA ABIES	NORWAY SPRUCE	4	6' MIN.	AS SHOWN
	TON	THUJA OCCIDENTALIS NIGRA'	DARK AMERICAN ARBORVITAE	4	5'-6' MIN.	AS SHOWN
	EP	EPHEDRA	SPURGEON PLUM	2	3" - 3-1/2" CAL.	AS SHOWN
	PC	PRUNUS	PLUM	3	3" - 3-1/2" CAL.	AS SHOWN

STORE NAME, ABBREVIATION & NO. **SOUTH UTICA - 217**

SITE LOCATION **2632 & 2634 GENESEE STREET - CITY OF UTICA, NY 13502**

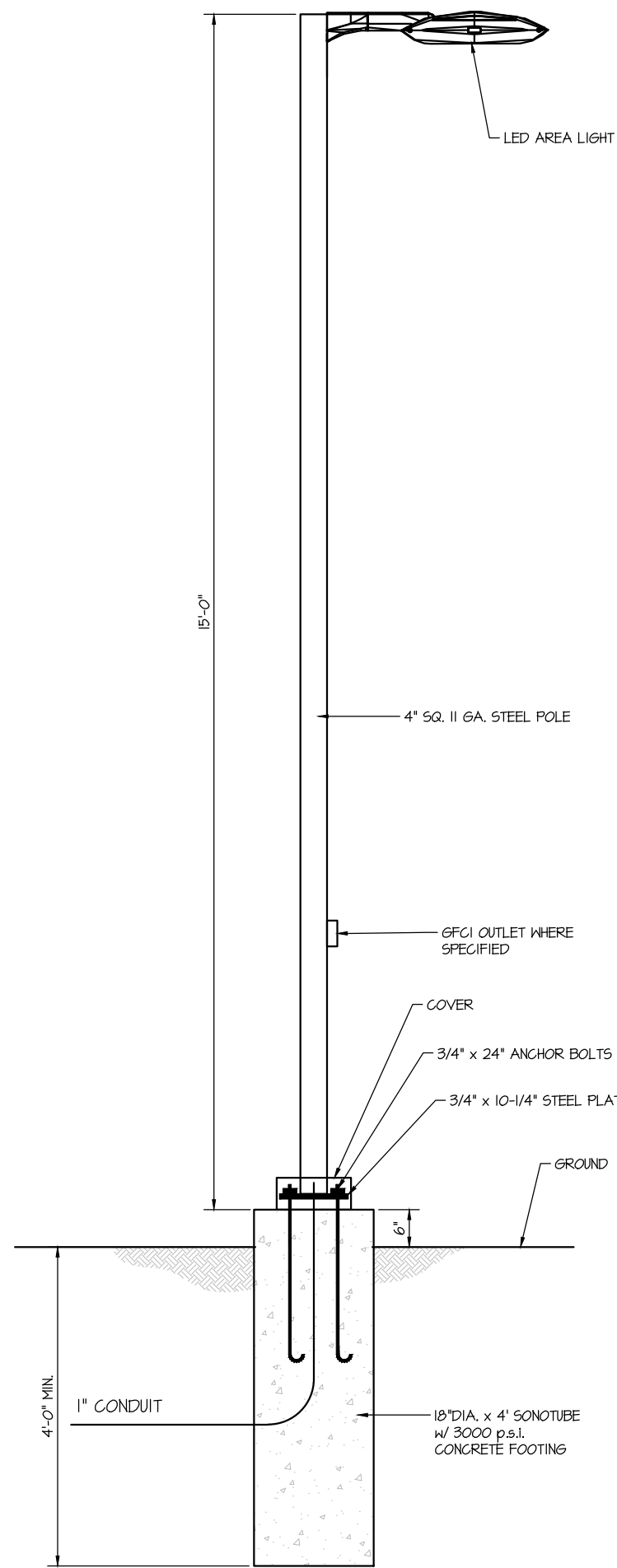
DATE	NO.	REVISIONS
4/22/22	1	PER PLANNING BOARD COMMENTS
10/22/22	2	FULL SITE DESIGN PLANS PREPARED

DRAWN BY: JR6
SCALE: 1"=20'
DATE: 6/29/22
DRAWING NO. **5-7**

SARATOGA SPRINGS, NY 12866
TEL: (518)581-1200 FAX: (518)581-1209

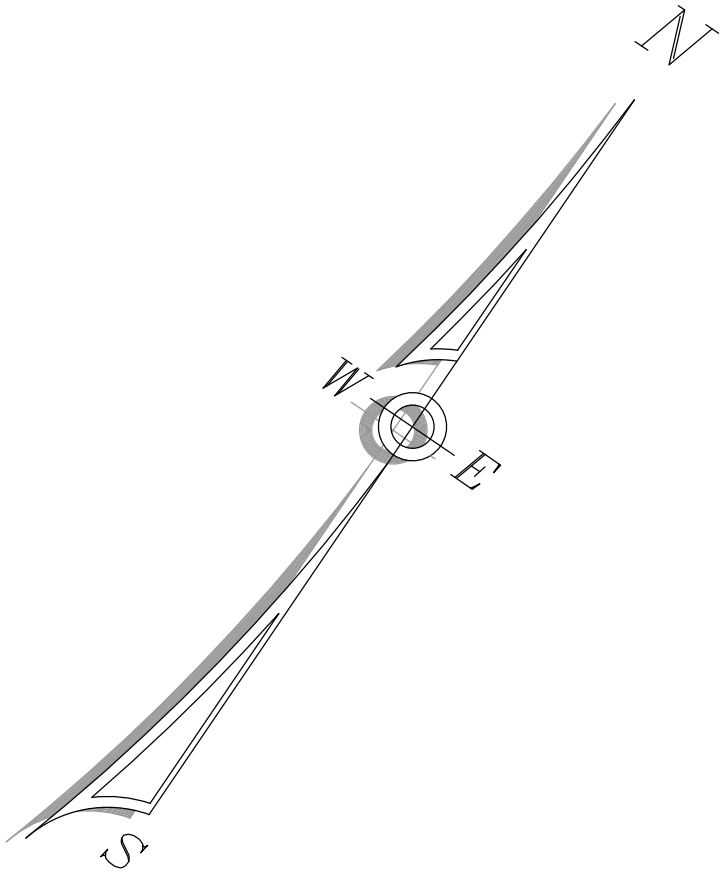
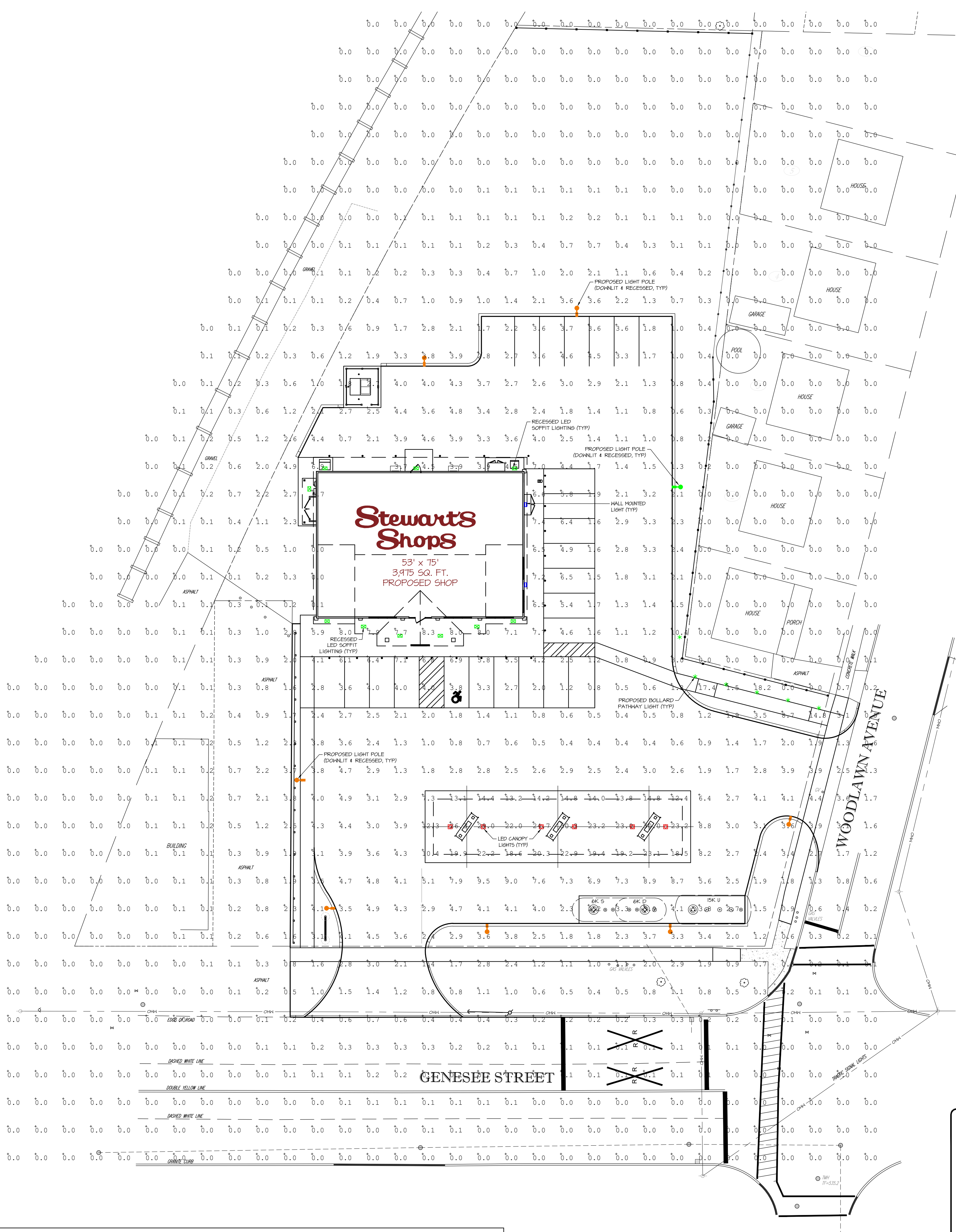
TITLE: **LANDSCAPE PLAN**

ALTERATIONS TO THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED PROFESSIONAL ENGINEER IS ILLEGAL AND A VIOLATION OF THE NEW YORK STATE EDUCATION LAW



LIGHT POLE DETAIL

Luminaire Schedule			Arrangement	Description	Lum. Watts	Lum. Lumens
Symbol	Qty	Label				
	7	ARE-ED6-3M-DA-06-E-UL-BZ-100-30K	SINGLE	POLE LIGHT, 3,000K LED, DIRECT ARM MOUNT (SPECIAL ORDER)	136.3	9196
	1	ARE-ED6-3M-B-DA-06-E-UL-BZ-100-30K	SINGLE	POLE LIGHT SHIELDED, 3,000K LED, DIRECT ARM MOUNT (SPECIAL ORDER)	131.9	8841
	6	CAN-304-PS-RS-06-E-UL-WH-525-30K	SINGLE	CANOPY LIGHT, 3,000K LED, RECESSED MOUNT (SPECIAL ORDER)	101	11274
	2	SEC-ED6-3M-WH-04-E-UL-WH-525-30K	SINGLE	SECURITY LIGHT, 3,000K LED, WALL MOUNTED (SPECIAL ORDER)	68	5893
	10	9FT-228-5M-RM-03-E-UL-WH-525-30K	SINGLE	SOFFIT LIGHT, 3,000K LED, RECESSED MOUNT (SPECIAL ORDER)	34	3714
	6	BL-CLRD2225G(BLANK 36)(BLANK; GR) 30K	SINGLE	BOLLARD LIGHT, 3,000K LED, DOWNLIT PATHWAY LIGHT	130	2860



ALTERATIONS TO THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED PROFESSIONAL ENGINEER IS ILLEGAL AND A VIOLATION OF THE NEW YORK STATE EDUCATION LAW

STORE NAME, ABBREVIATION & NO. **SOUTH UTICA - 217**

SITE LOCATION **2632 & 2634 GENESEE STREET - CITY OF UTICA, NY 13502**

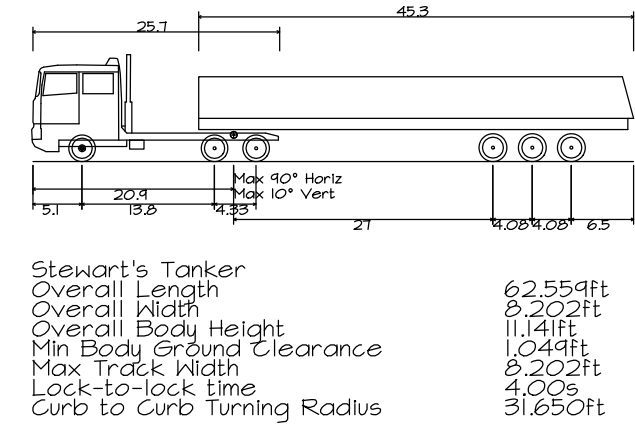
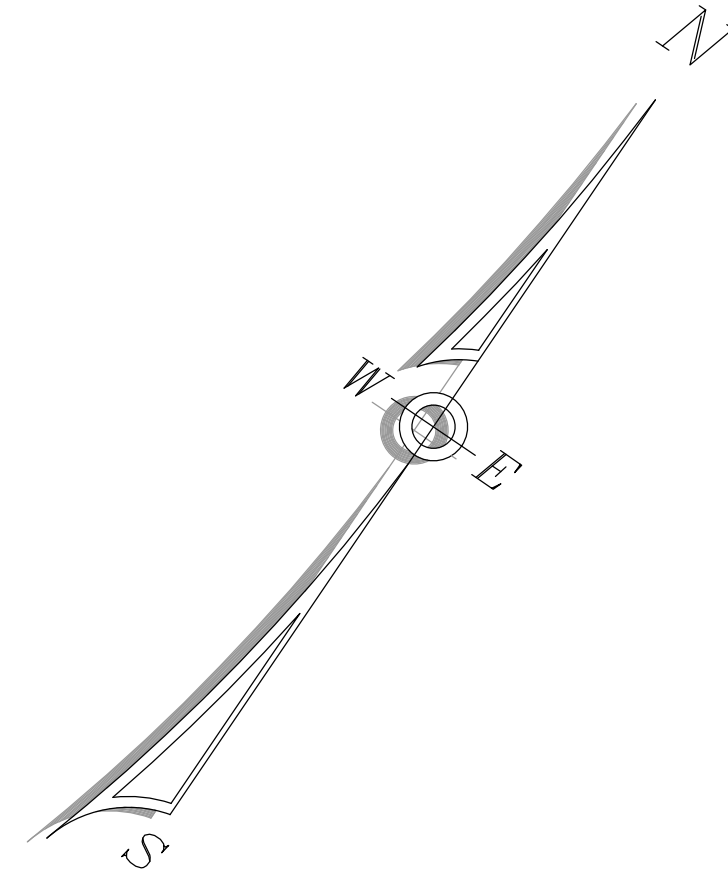
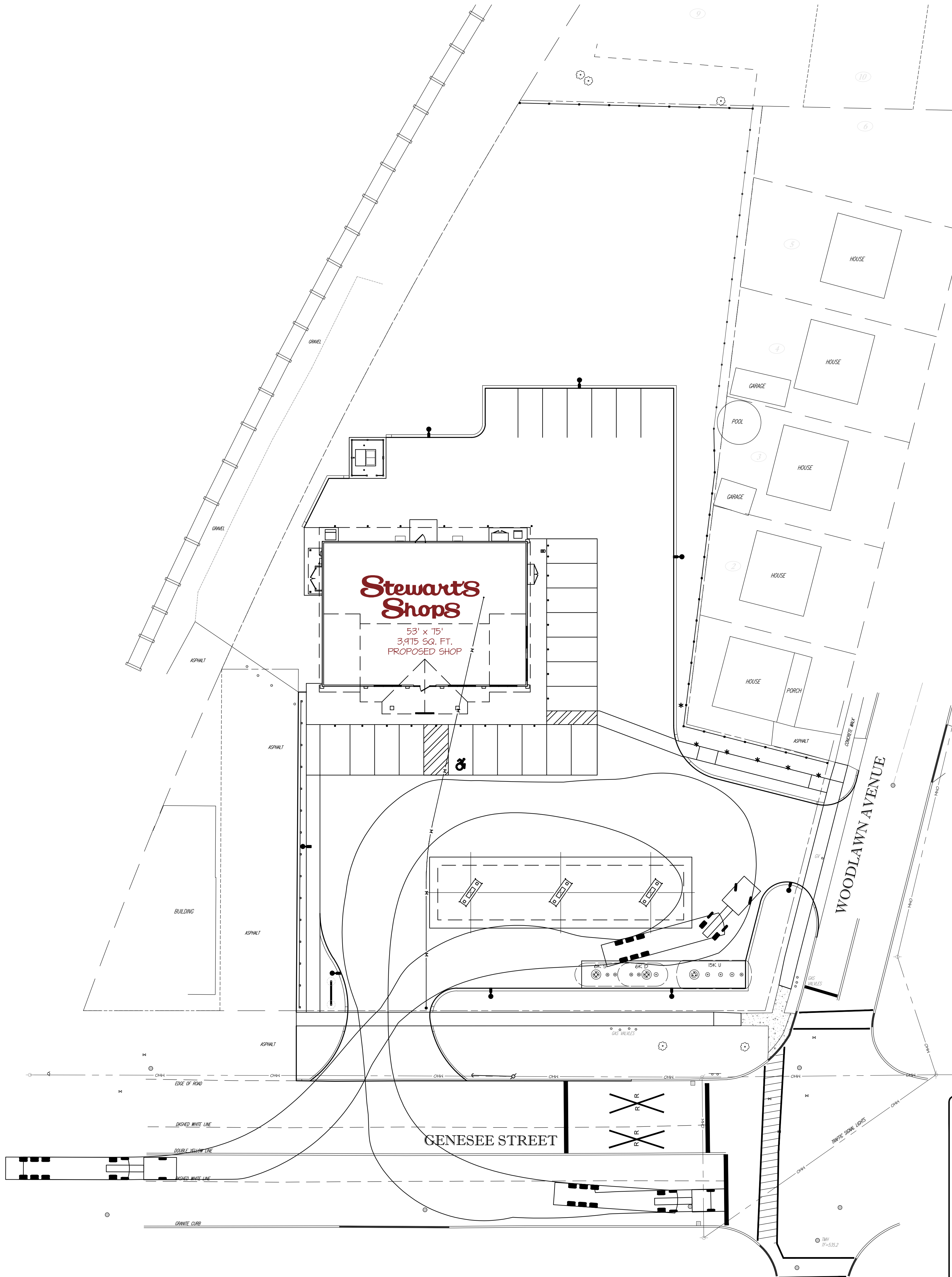
DATE	NO.	REVISIONS
4/22/22	1	PER PLANNING BOARD COMMENTS
10/22	2	FULL SITE DESIGN PLANS PREPARED

SARATOGA SPRINGS, NY 12866
TEL (518)581-1200 FAX (518)581-1209

DRAWN BY: JR6
SCALE: 1"=20'
DATE: 6/29/22

DRAWING NO. **5-8**

TITLE: **PHOTOMETRIC PLAN**



ALTERATIONS TO THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED PROFESSIONAL ENGINEER IS ILLEGAL AND A VIOLATION OF THE NEW YORK STATE EDUCATION LAW

STORE NAME, ABBREVIATION & NO.		SOUTH UTICA - 217	
SITE LOCATION		2632 & 2634 GENESEE STREET - CITY OF UTICA, NY 13502	
DATE	NO.	REVISIONS	
4/22/22	1	PER PLANNING BOARD COMMENTS	
10/02/22	2	FULL SITE DESIGN PLANS PREPARED	

SARATOGA SPRINGS, NY 12866
TEL. (518)581-1200 FAX (518)581-1209

TITLE:

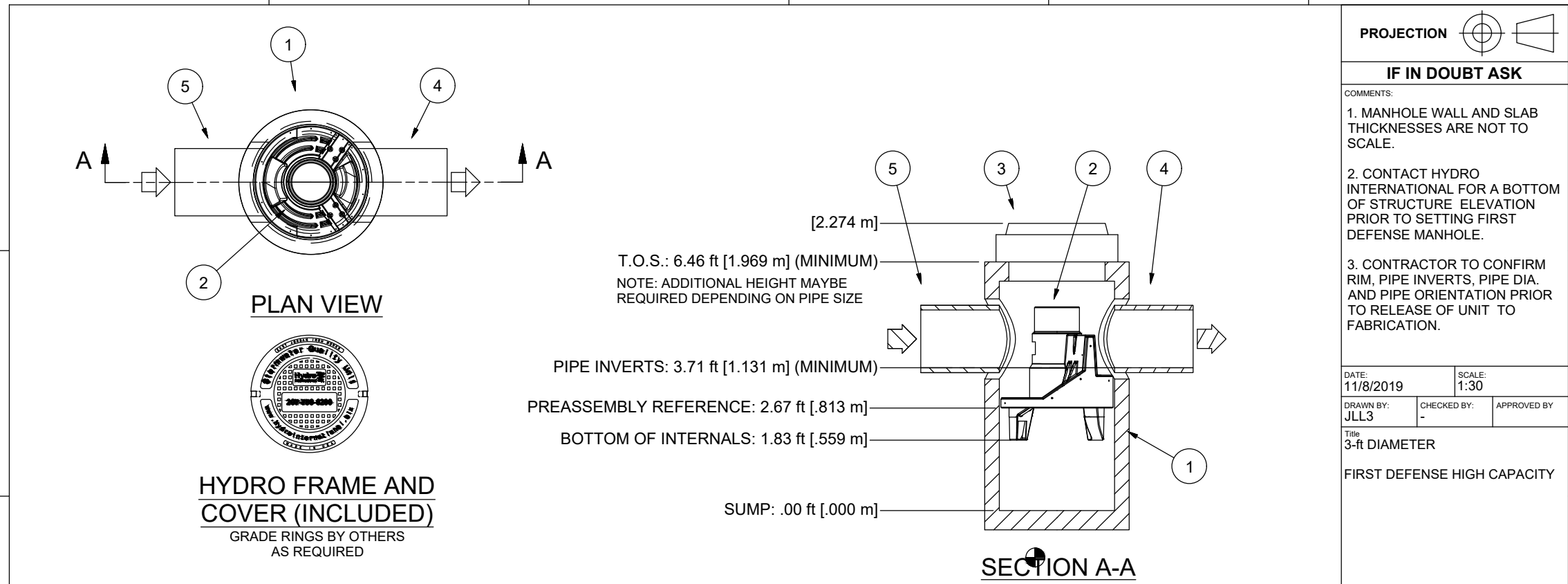
TRUCK CIRCULATION PLAN

DRAWN BY: JR6

SCALE: 1"=20'

DATE: 6/29/22

DRAWING NO. S-9



CONCRETE MATERIALS

- ## CONCRETE MIX DESIGN

- PRIOR TO CONCRETE PLACEMENT

- ### CONCRETE PLACEMENT

- ## FINISHING

- ## JOINTS

- QJING**

- ### QUALITY CONTROL/QUALITY ASSURANCE

CONCRETE MATERIALS

- ## AD MIXTURES

- ### CONCRETE MIX DESIGN - FOOTINGS

- CONCRETE MIX DESIGN - FOUNDATION WALLS & CANOPY FOOTINGS

- B. AIR CURING: 60% RH, 70°F, 14 DAYS

- CONCRETE MIX DESIGN - INTERIOR SLAB

- PRIOR TO CONCRETE PLACEMENT

- ### CONCRETE PLACEMENT

- ## FINISHING

- ### JOINTING FOR INTERIOR SLAB

- A. SAW CUT CONTRACTOR

- ### GENERAL SPECIFICATIONS

- QUALITY CONTROL/QUALITY ASSURANCE

- A. THE OWNER SHALL EMPLOY A QUALIFIED INDEPENDENT TESTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS TO MEET THE FOLLOWING REQUIREMENTS:
1. GENERAL TESTS. TESTING OF CONCRETE SAMPLES OF FRESH CONCRETE SHALL BE PERFORMED ACCORDING TO THE FOLLOWING REQUIREMENTS:
- 1.1. TESTING FREQUENCY. OBTAIN ONE CONCRETE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MEMBER EXCEEDING 1000 SQ. YD. OR LESS THAN 20,000 CU. YD. PLUS ONE TEST FOR EACH ADDITIONAL 20,000 CU. YD. OR EACH TRACTION.
 - 1.2. SLUMP. ASTM C 143. 143M. ONE TEST AT POINT OF TRUCK DISCHARGE FOR EACH TRUCK TRIP TO THE SITE AND FOR EACH TRUCK TRIP TO THE PUMP. FOR PUMPED CONCRETE, FIELD TESTS CONSIDERED REPRESENTATIVE AT THE PUMP. THE SLUMP SHALL BE MEASURED AT THE POINT OF PLACEMENT. THE SLUMP SHALL BE GATED INTO THE PUMPED CONCRETE WITH SLUMP IN EXCESS OF THE SPECIFIED MAXIMUM SHALL NOT BE PLACED ON THE PROJECT.
 - 1.3. AIR. ASTM C 231. 231M. ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MEMBER. ONE TEST FOR EACH CONCRETE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MEMBER. TEST AT TRUCK, PUMP, OR PLACEMENT. ACCEPTANCE CRITERIA SHALL BE AS SPECIFIED IN THE SPECIFICATIONS. CONCRETE WITH AIR CONTENT OUTSIDE THE SPECIFIED LIMITS SHALL NOT BE PLACED ON THE PROJECT.
 - 1.4. COMPRESSIVE STRENGTH. TESTS. ASTM C 39. 39M. ONE TEST (ONE SET OF LABORATORY-GRIND SPECIMENS AT 1 DAYS OF AGE) FOR EACH LABORATORY-MANAGED SPECIMEN AT QUALITY. RESERVE ONE SET OF SPECIMENS FOR FURTHER TESTING IF REQUIRED.
2. ADDITIONAL TESTING AND INSPECTIONS AT CONTRACTOR'S EXPENSE. WILL BE PERFORMED TO DETERMINE COMPLIANCE WITH THE SPECIFICATIONS OR ADDITIONAL MAINTAINED SPECIFICATIONS AT QUALITY.



LEGEND:

- CB CATCH BASIN
HYD HYDRANT
LP LIGHT POLE
SM SANITARY MANHOLE
SM STORM MANHOLE
EM ELECTRIC MANHOLE
WV WATER VALVE
TPD TELEPHONE PEDESTAL
UTILITY POLE
G GAS LINE
S SANITARY LINE
ST STORM LINE
W WATER LINE
T TELEPHONE LINE
E ELECTRIC LINE
OH OVERHEAD WIRES
LA LANDSCAPED AREA
RD ROOF DRAIN
+ 857.82 SPOT ELEVATION
SB SOIL BORING
MW MONITORING WELL
GM GAS MARKER POST
EM ELECTRIC METER
GM GAS METER

TAX PARCEL NUMBER:

CITY OF UTICA, ONEIDA COUNTY, NEW YORK
SEC. 329.11 - BLK: 5 - PARCELS 61 & 62

MAP REFERENCES:

- "MAP OF PROPERTY BELONGING TO BROOKS-GERSTEN-DALY," PREPARED BY JOSEPH SHAW, DATED OCTOBER 5, 1925 AND FILED IN THE ONEIDA COUNTY CLERKS OFFICE IN MAP BOOK 33, PAGE 25.
- "MAP OF PROPERTY MADE FOR GEORGE M. SPEAKERATTY," PREPARED BY MERRITT & LABELLA, DATED OCTOBER 18, 1923 AND FILED IN THE ONEIDA COUNTY CLERKS OFFICE IN MAP BOOK 29, PAGE 45.

DEED REFERENCES:

- SUDERSHAN P. REDDY AND ARUL P. KANNAN TO SUDERSHAN P. REDDY, DATED MARCH 26, 2004 AND RECORDED IN THE ONEIDA COUNTY CLERKS OFFICE IN DEED INSTRUMENT 2004-7345.
- PAUL P. AND SHERYL L. BOHN TO VINCENT R. CARFAGNO, DATED NOVEMBER 20, 1997 AND RECORDED IN THE ONEIDA COUNTY CLERKS OFFICE IN DEED BOOK 2801 AT PAGE 533.

GENERAL NOTES:

NORTH IS ORIENTED TO DEED REFERENCE 1

VERTICAL DATUM IS NAVD88, ESTABLISHED FROM GPS OBSERVATIONS AT THE TIME OF SURVEY

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

SURVEYED FROM RECORD DESCRIPTION AND AS IN POSSESSION.

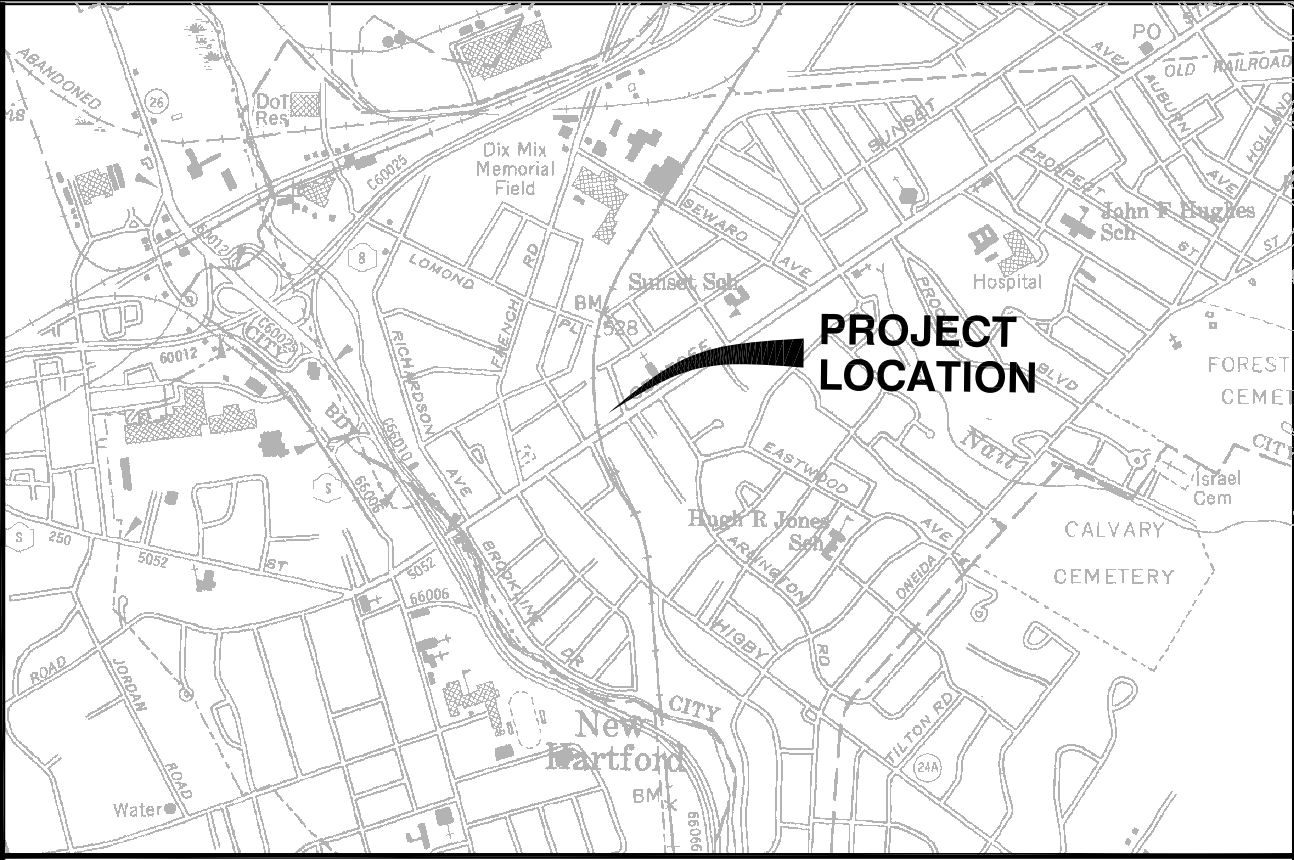
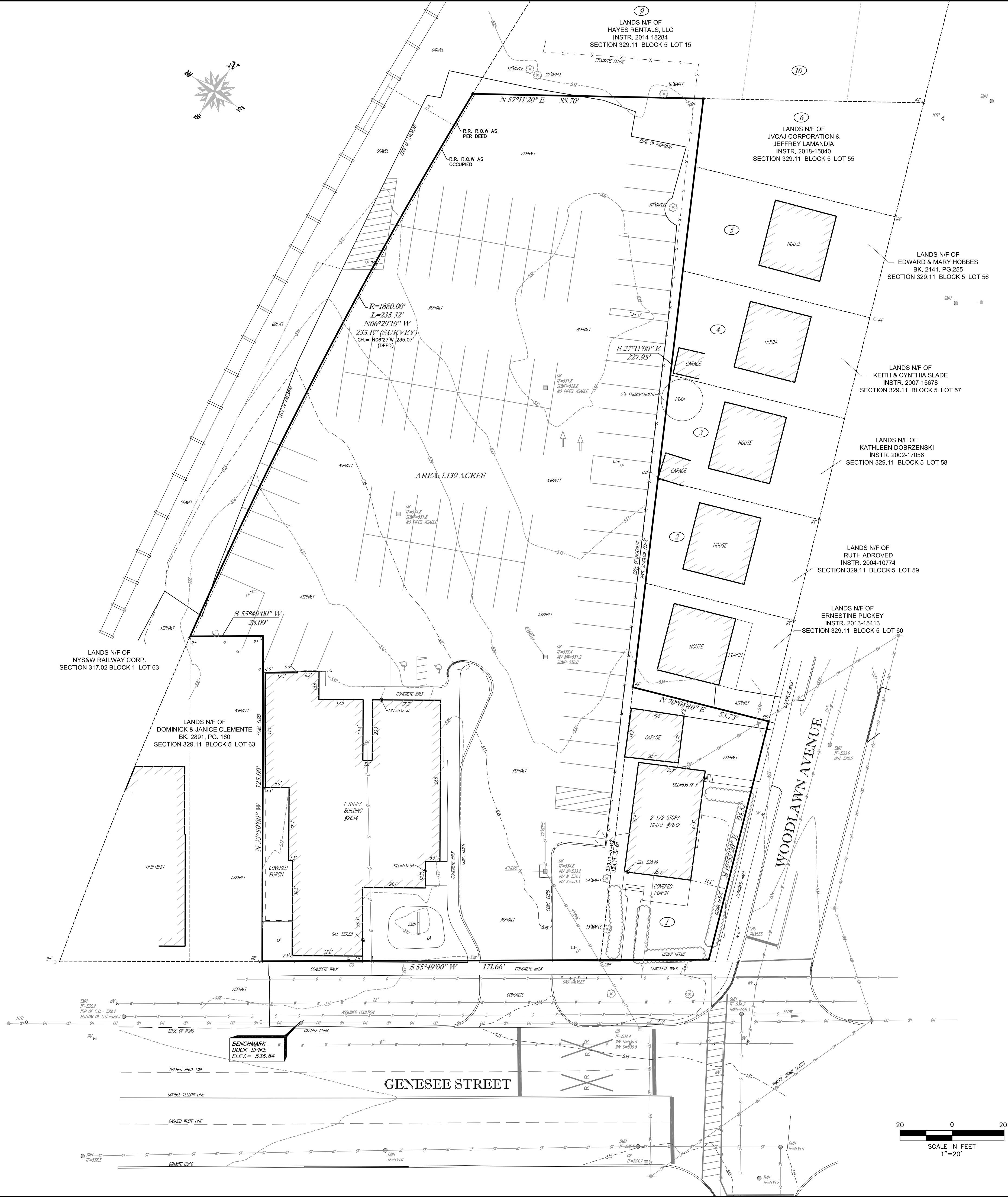
SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.

SURVEY SUBJECT TO ANY RIGHT, TITLE OR INTEREST THE PUBLIC MAY HAVE FOR HIGHWAY USE.

SURVEY SHOWN IS SUBJECT TO ANY SUBSURFACE CONDITIONS THAT MAY EXIST, IF ANY.

UNDERGROUND FACILITIES AND STRUCTURES SHOWN HEREON WERE TAKEN FROM DATA OBTAINED FROM PREVIOUS MAPS AND RECORD DRAWINGS. ALL ABOVE GROUND STRUCTURES AND SURFACE FEATURES SHOWN HEREON ARE THE RESULT OF A FIELD SURVEY UNLESS OTHERWISE NOTED. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN OR CERTIFIED BY THE UNDERSIGNED. THE SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES. THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION MUST BE NOTIFIED PRIOR TO CONDUCTING TEST BORINGS, EXCAVATION AND CONSTRUCTION.

CURRENT DEED DOES NOT CLOSE BY .09 FEET. ERROR OF CLOSURE CORRECTED IN THE RAILROAD R.O.W. CURVE.



SITE LOCATION PLAN: 1"=2000'

LEGAL DESCRIPTIONS OF RECORD:

TAX MAP PARCEL 329.11-3-62 (LANDS OF SUDERSHAN P. REDDY)

ALL THAT PIECE OR PARCEL OF LAND, SITUATE IN THE CITY OF UTICA, COUNTY OF ONEIDA, STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS, TO WIT: BEGINNING AT A POINT IN THE NORTHWESTERLY LINE OF GENESEE STREET, DISTANT 41.66 FEET SOUTH 55° 49' WEST FROM A CONCRETE MONUMENT SET AT THE WESTERLY CORNER OF WOODLAWN AVENUE WEST AND GENESEE STREET; RUNNING THENCE SOUTH 55° 49' WEST ALONG THE NORTHWESTERLY LINE OF GENESEE STREET 130.0 FEET TO A POINT; THENCE NORTH 33° 50' WEST 125 FEET TO A POINT; THENCE SOUTH 55° 49' WEST 28.09 TO A POINT IN THE EASTERLY CURVED RIGHT OF WAY LINE OF THE PROPERTY NOW OR FORMERLY OF THE D.L. & W. RAILROAD COMPANY; THENCE ALONG SAID CURVED RIGHT OF WAY LINE AND BEING ALONG THE CIRCUMFERENCE OF A CIRCLE CURVING TO THE RIGHT AND HAVING A RADIUS OF 1,880.00 FEET TO A POINT THAT IS ON A CHORD NORTH 06° 27' WEST 235.07 FEET; THENCE NORTH 57° 04' EAST 88.70 FEET TO A POINT; THENCE SOUTH 27° 11' EAST ALONG THE REAR LINE OF LOTS FRONTING ON THE WESTERLY SIDE OF WOODLAWN AVENUE WEST 333.66 FEET TO THE PLACE OF BEGINNING.

TAX MAP PARCEL 329.11-5-61 (LANDS OF VINCENT R. CARFAGNO)

ALL THAT CERTAIN LOT, PIECE OR PARCEL OF LAND SITUATE, LYING AND BEING IN THE CITY OF UTICA, COUNTY OF ONEIDA AND SLATE OF N.Y., AND MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWESTERLY CORNER OF BROOKS AVENUE AND GENESEE ST. AND IN THE SOUTHEASTERLY CORNER OF LOT NO. 1 ON MAP OF PROPERTY BELONGING TO BROOKS-GERSTEN-DALY, UTICA, N.Y. DATED OCT. 5, 1925, AND MADE BY JOSEPH B. SHAW, C.E., AND NOW ON FILE IN THE OFFICE OF THE CLERK OF THE COUNTY OF ONEIDA; RUNNING THENCE NORTHERLY ALONG THE WESTERLY LINE OF BROOKS AVENUE AS SHOWN ON SAID MAP AND ALONG THE EASTERLY LINE OF LOT NO. 1 AS SHOWN ON SAID MAP 94.52 FEET TO A POINT; RUNNING THENCE WESTERLY AT RIGHT ANGLES OR NEARLY SO TO BROOKS AVENUE 53.73 FT. TO A POINT IN THE WESTERLY LINE OF SAID LOT NO. 1 DISTANT 105.60 FT. NORTHERLY FROM THE NORTHERLY LINE OF GENESEE ST.; RUNNING THENCE SOUTHERLY ALONG THE WESTERLY LINE OF SAID LOT NO. 1 AS SHOWN ON SAID MAP 105.60 FT. TO A POINT IN THE NORTHERLY LINE OF GENESEE ST. AND RUNNING THENCE EASTERLY ALONG THE NORTHERLY LINE OF GENESEE ST. 41.66 FT. TO THE POINT OR PLACE OF BEGINNING.

COMBINED LEGAL DESCRIPTION:

ALL THAT TRACT OF PARCEL OF LAND, SITUATE IN THE CITY OF UTICA, COUNTY OF ONEIDA AND STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION FORMED BY THE NORTHERLY LINE OF GENESEE STREET WITH THE WESTERLY LINE OF WOODLAWN AVENUE; THENCE ALONG SAID NORTHERLY LINE OF GENESEE STREET, SOUTH 55°49'00" WEST, 171.66 FEET TO A POINT; THENCE ALONG THE LANDS NOW OR FORMERLY OF DOMINICK & JANICE CLEMENTE (BOOK 2891, PAGE 160), THE FOLLOWING TWO COURSES: 1) NORTH 33°50'00" WEST, 125.00 FEET TO A POINT AND 2) SOUTH 55°49'00" WEST, 28.09 FEET TO A POINT; THENCE ALONG THE LANDS NOW OR FORMERLY OF THE NYS & W RAILWAY CORP. AND ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 1880.00 FEET, AN ARC LENGTH OF 235.32 FEET AND BEARING A CHORD OF NORTH 06°29'10" WEST, 235.17 FEET TO A POINT; THENCE ALONG THE LANDS NOW OR FORMERLY OF HAYES RENTALS, LLC (INSTRUMENT 2014-18284), NORTH 57°11'20" EAST, 88.70 FEET TO A POINT; THENCE ALONG THE LANDS NOW OR FORMERLY OF JVCJ CORPORATION (INSTRUMENT 2018-15040), LANDS OF EDWARD & MARY HOBBS (BOOK 2141, PAGE 255), LANDS OF KEITH & CYNTHIA SLADE (INSTRUMENT 2007-15678), LANDS OF KATHLEEN DOBRZENSKI (INSTRUMENT 2002-17056), LANDS OF RUTH ADROVED (INSTRUMENT 2004-10774 AND THE LANDS OF ERNESTINE PUCKEY (INSTRUMENT 2013-15413, SOUTH 27°11'00" EAST, 227.95 FEET TO A POINT; THENCE ALONG SAID LANDS OF PUCKEY, NORTH 70°04'40" EAST, 53.73 FEET TO A POINT; THENCE ALONG THE FIRST MENTIONED WESTERLY LINE OF WOODLAWN AVENUE, SOUTH 19°55'20" EAST, 94.52 FEET TO THE POINT OR PLACE OF BEGINNING

CONTAINING IN ALL 1.139 ACRES

NOTES CORRESPONDING TO TITLE COMMITMENT:

NO TITLE REPORT RECEIVED TO DATE

FLOOD ZONE NOTE:

PROPERTY SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA ("SFHA") AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP IDENTIFIED MAP NUMBER 36064C0734F, COMMUNITY NUMBER 360558, PANEL 734 OF 926, OF THE CITY OF UTICA, ONEIDA COUNTY, N.Y., BEARING AN EFFECTIVE DATE OF SEPTEMBER 27, 2013.

CERTIFICATION:

THIS IS TO CERTIFY TO STEWART'S SHOPS CORP., THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS. THE FIELD WORK WAS COMPLETED IN APRIL, 2022

SIGNED: *Vincent R. Carfagno* DATE: MAY 2, 2022
N.Y.S. REGISTRATION NO. 049597

				2632 & 2634 GENESEE STREET		
				ALTA/NSOS LAND TITLE SURVEY OF THE LANDS OF REDDY P. SUDERSHAN & VINCENT R. CARFAGNO		
			REVISION:	CITY OF UTICA	ONIEDA COUNTY, N.Y.	
				SCALE: 1"=20'	APRIL 29, 2022	
			DATE:	DRAWN BY: KCW	PROJECT NO: 22-3199	 Ausfeld & Waldruft Land Surveyors LLP 323 CLINTON STREET, SCHENECTADY NY Phone: (518) 346-1595 Fax: 518-770-1655
				VINCENT P. AUSFELD P.L.S. LICENSE #049597 www.awslsp.com		